



**Monday, November 3, 2025
Village Board Regular Meeting Agenda**

PUBLIC NOTICE - in accordance with the applicable statutes of the state of Illinois and Ordinances of the Village of Wheeling, notice is hereby given that the Regular Meeting of the President and Board of Trustees will be held in the Board Room, Wheeling Village Hall, 2 Community Boulevard, Wheeling, Illinois, at 6:30 PM, during which meeting it is anticipated there will be discussion and consideration of and, if so determined, action upon the matters contained in the following agenda:

-
1. **Call to Order**

 2. **Pledge of Allegiance**

 3. **Roll Call**

 4. **Approval of Minutes**
 - A. Approval of Minutes of the Regular Meeting of October 20, 2025.

 5. **Changes to the Agenda**

 6. **Proclamations**

 7. **Appointments and Confirmations**

 8. **Administration of Oaths**

 9. **Citizen Concerns and Comments**

 10. **Staff Reports**

 11. **Consent Agenda**

All items listed on the Consent Agenda are considered to be routine by the Village Board and will be enacted by one motion. There will be no separate discussion of these items unless a Board member or citizen so requests, in which event the item will be removed from the general order of business and considered after all other Agenda items.

 - A. Resolution Authorizing Temporary Lane Closures on Illinois 21 (Milwaukee Avenue) and Illinois Route 68 (Dundee Road) on Sunday, November 23, 2025
 - B. Resolution Approving Change Order No. 1 and Final to the Contract with Chicagoland Paving Contractors, Inc. for the Wheeling Town Center – Park District Property Access Project Increasing the Contract Amount by \$29,425.50, from \$65,000 to \$94,425.50
 - C. Resolution Accepting a Previously Bid State of Michigan Contract with Lafontaine CDJR-Lancing for the Purchase of Five Replacement Vehicles in the Total Amount of \$251,378
 - D. Resolution Authorizing Acceptance of a Previously Bid Suburban Purchasing Cooperative Contract for the Purchase of Five 2026 Ford Police Interceptor Utility Vehicles from Currie Motors in the Total Amount of \$246,454

- E. Resolution Approving a One-Year Contract with Clean Cut Tree Service, Inc. for Creek and Waterway Tree Trimming and Removal Services in an Amount Not to Exceed \$30,000 for FY 2026
- F. Resolution Accepting and Approving a Contract with Anthem Excavation & Demolition Inc. for the 318 W. Dundee Road Demolition Project in an Amount Not to Exceed \$38,000

12. **Old Business**

13. **New Business**

All Listed Items for Discussion and Possible Action

- A. Resolution Prohibiting the Use of Village Parking Lots, Vacant Lots, and Garages for Civil Immigration Enforcement Staging Areas, Processing Locations, or Operations Bases
- B. Ordinance Granting Special Use Approval to Permit the Operation of a Retail Tobacco Establishment (Wheeling Tobacco), 1053 Lake Cook Road [Docket No. PSU25-0014]
- C. Resolution Consenting to a Cook County Class 6b Real Estate Tax Assessment Classification for the Real Property Located at 199 Shepard Avenue, Wheeling, Illinois (PH Wheeling Industrial, LLC)
- D. Resolution Awarding a Restaurant, Entertainment, and Retail Build-Out Grant for SunBerry Orchard Farm Market Inc. at 548B West Dundee Road in an Amount up to \$50,000

14. **Official Communications**

15. **Approval of Bills**

- A. Approval of Bills for October 15-October 29, 2025

16. **Executive Session**

17. **Action on Executive Session Items**

18. **Adjournment**

REGULAR meetings will be televised on channels 17 and 99. If you would like to attend a Village meeting but require an auxiliary aid such as a sign language interpreter, call 847-499-9085 AT LEAST 72 HOURS PRIOR TO THE MEETING. To view the full agenda packet, visit <https://wheelingil.portal.civicclerk.com/>.



MEMORANDUM

DATE: November 3, 2025
FROM: Bill Murphy, Police Chief
SUBJECT: Resolution Authorizing Temporary Lane Closures on Illinois 21 (Milwaukee Avenue) and Illinois Route 68 (Dundee Road) on Sunday, November 23, 2025
DOLLAR AMOUNT: n/a
BUDGETED: No
BUDGET SOURCE: n/a
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Residential Life

EXECUTIVE SUMMARY

The State of Illinois requires approval of a resolution assuming responsibility for temporary lane closures on Illinois Route 21 (Milwaukee Ave) and Illinois Route 68 (Dundee Rd) during the Village's Lights Around Wheeling event on November 23, 2025.

MEMO

On Sunday, November 23, 2025, the Village will hold its Lights Around Wheeling holiday lighting event, which will require the temporary partial closure of Illinois Route 21 (Milwaukee Avenue) and Illinois Route 68 (Dundee Road) to create a safety zone around Friendship Park. The lane closures are expected to be in effect from 4–6 p.m. the day of the event. During this time, the curb lanes of northbound Milwaukee and westbound Dundee will be closed to vehicular traffic.

Per the attached resolution, the Village will assume the responsibility involved in the lane closures. The Village will also assume full responsibility for the direction, protection, and regulation of traffic during the time the closure is in effect. Village staff will notify members of the public who may be affected by the lane closures.

RESOLUTION 25 - _____

RESOLUTION AUTHORIZING TEMPORARY LANE CLOSURES ON ILLINOIS ROUTE 21 (MILWAUKEE AVENUE) AND ILLINOIS ROUTE 68 (DUNDEE ROAD) ON SUNDAY, NOVEMBER 23, 2025

WHEREAS, the Village of Wheeling desires to hold the “Lights Around Wheeling” holiday lighting event on Sunday, November 23, 2025; and

WHEREAS, the “Lights Around Wheeling” event will include festivities at Friendship Park, located at the intersection of Illinois Route 21 (Milwaukee Avenue) and Illinois Route 68 (Dundee Road); and

WHEREAS, said festivities will require the partial closure of Illinois Route 21 (Milwaukee Avenue) and Illinois Route 68 (Dundee Road) to create a safety zone around Friendship Park to protect the attendees; and

WHEREAS, the State of Illinois requires the Village of Wheeling to assume the responsibility involved in closing said highways;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village of Wheeling will assume full responsibility for the direction, protection, and regulation of traffic during the time the closures are in effect.

Trustee _____ moved, second by Trustee _____,
that Resolution No. 25- _____ be adopted.

President Horcher	_____		
Trustee Krueger	_____	Trustee Ruffatto	_____
Trustee Lang	_____	Trustee Vito	_____
Trustee Papantos	_____	Trustee Vogel	_____

ADOPTED this 3rd day of November 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk



MEMORANDUM

DATE: November 3, 2025
FROM: Dan Kaup, Deputy Village Manager/Public Works Director
SUBJECT: Resolution Approving Change Order No. 1 and Final to the Contract with Chicagoland Paving Contractors, Inc. for the Wheeling Town Center – Park District Property Access Project Increasing the Contract Amount by \$29,425.50, from \$65,000 to \$94,425.50
DOLLAR AMOUNT: \$29,425.50
BUDGETED: Yes
BUDGET SOURCE: Capital Improvement Funds
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Transportation & Infrastructure

EXECUTIVE SUMMARY

The attached resolution approves Change Order No. 1 and Final in the amount of \$29,425.50 to the final contract with Chicagoland Paving Contractors, Inc. for the Wheeling Town Center – Park District Property Access Project. This change order increases the final project amount from \$65,000 to \$94,425.50.

MEMO

Discussion

On May 19, 2025, the Village Board approved Resolution 25-081 awarding a \$65,000 contract to Chicagoland Paving Contractors, Inc. for the Wheeling Town Center – Park District Property Access Project. The project includes constructing a new asphalt drive lane and new sidewalks to connect the parking lot between the Wheeling Town Center and Park District at the southwest corner of Wheeling Town Center. The project cost is to be shared between the Village and the Park District.

Errors by the design engineering consultant in calculating the plan quantities resulted in the project cost going over the contract amount. The work performed was germane to the project and necessary to complete the construction of the drive aisle, but was omitted in the design. This final change order incorporates and serves to document the project's final contract quantities with respect to the originally-awarded contract and establishes the final agreed-upon contract amount. Attached is a breakdown of the agreed-upon final quantities itemizing the pay item adjustments that were necessary to complete this project.

Budget

The final agreed-upon contract amount of \$94,425.50 represents a \$29,425.50 increase to the original contract award. The cost of this project is being shared between the Wheeling Park District and the Village according to the attached memorandum of understanding. The Village has \$70,000 budgeted for this project in 2026. The Park District will pay \$42,436.63 in 2026 and the Village will pay \$51,988.88.

RESOLUTION NO. 25-_____

RESOLUTION APPROVING CHANGE ORDER NO. 1 AND FINAL TO THE CONTRACT WITH CHICAGOLAND PAVING CONTRACTORS, INC. FOR THE WHEELING TOWN CENTER – PARK DISTRICT PROPERTY ACCESS PROJECT INCREASING THE CONTRACT AMOUNT BY \$29,425.50 FROM \$65,000 TO \$94,425.50

WHEREAS, Resolution No. 25-081 awarded a contract to Chicagoland Paving Contractors, Inc. in the amount of \$65,000 for the Wheeling Town Center–Park District Property Access Project (the “Project”); and

WHEREAS, errors by the design engineering consultant in calculating the plan quantities resulted in the project cost going over the contract amount; and

WHEREAS, this Change Order No. 1 and Final incorporate the Project’s final contract quantities with respect to the originally awarded contract and documents the agreed-upon final contract amount; and

WHEREAS, the agreed-upon final contract amount of \$94,425.50 is \$29,425.50 higher than the original contract award amount of \$65,000; and

WHEREAS, the Wheeling Park District is sharing the cost of this project, and will pay \$42,436.63 in 2026, and the Village will pay \$51,988.88; and

WHEREAS, approving this Final Change Order is in the best interest of the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village Manager is hereby authorized to accept Change Order No. 1 and Final to the contract with Chicagoland Paving Contractors, Inc. for the Wheeling Town Center – Park District Property Access Project increasing the final contract amount from \$65,000 to \$94,425.50, as attached hereto.

Trustee _____ moved, second by Trustee _____,
that Resolution No. 25-_____ be adopted.

President Horcher _____

Trustee Krueger _____ Trustee Ruffatto _____

Trustee Lang _____ Trustee Vito _____

Trustee Papantos _____ Trustee Vogel _____

Resolution No. 25-_____ **ADOPTED** this 3rd day of November 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk



Change Order No. 01 and Final

Date Issued:	9/26/2025	Effective Date of Change Order:	9/26/2025
Owner:	Village of Wheeling	Owner's Project No.:	25.1420.09
Contractor:	8046-Chicagoland Paving	Contractor's Project No.:	N/A
Engineer:	N/A	Engineer's Project No.:	N/A
Project:	WTC-Park District Parking Lot Improvements PO 25001320		

The Contract is modified as follows upon execution of this Change Order:

Description:

Balancing plan quantities with field measured quantities.

Attachments:

Pay Item breakdown

Change in Contract Price	Change in Contract Times [State Contract Times as either a specific date or a number of days]
Original Contract Price: \$65,000	Original Contract Times: Substantial Completion: _____ Ready for final payment: _____
Increase from previously approved Change Orders No. 1 to No. 1: \$0.00	[Increase] [Decrease] from previously approved Change Orders No.1 to No. [Number of previous Change Order] : Substantial Completion: _____ Ready for final payment: _____
Contract Price prior to this Change Order: \$65,000	Contract Times prior to this Change Order: Substantial Completion: _____ Ready for final payment: _____
Choose an item. this Change Order: \$29,425.50	[Increase] [Decrease] this Change Order: Substantial Completion: _____ Ready for final payment: _____
Contract Price incorporating this Change Order: \$94,425.50	Contract Times with all approved Change Orders: Substantial Completion: _____ Ready for final payment: _____

By: <u>RECOMMENDED:</u> <i>Kyle Goetzgelmann</i> Engineer (if required)	By: <u>ACCEPTED:</u> Owner (Authorized Signature)	By: <u>ACCEPTED:</u> <i>William R. Bowes</i> Contractor (Authorized Signature)
Title: Village Engineer	Title: Village Manager	Title: Vice President
Date: 09/29/2025 3:11 PM CDT	Date: _____	Date: 09/30/2025 6:37 AM PDT

Approved by Funding Agency (if applicable)

By: N/A Date: _____
Title: N/A

Change Order Authorization for Illinois Public Projects

Contract Number 25.1420.09 **Date:** 9/26/2025

Project WTC Park District Property Access

This Change Order authorizes:
(Check those that apply.)

(a) An Increase on the cost of the contract by \$10,000 or more \$29,425.50

(b) An increase/decrease in the time of completion by 30 days or more (_____)

OWNER (or its designee _____) has determined (Give circumstances requiring change, state fully the nature and reason for the change).

Additional coat of paint on exterior of Public works Building

When the net increase or decrease in the cost of the contract is \$10,000 or more or the time of completion is increased or decreased by 30 days or more, one of the following statements shall be checked. (Check those that apply.)

The undersigned has determined that the circumstances which necessitate this change were not reasonably foreseeable at the time the contract was signed.

The undersigned has determined that the change is germane to the original contract as signed.

The undersigned has determined that this change is in the best interest of the Village of Wheeling and is authorized by law.

Signed by:

Kyle Goetzelmann

065DD421A63D40B...

09/29/2025 | 3:11 PM CDT

Prepared by (Village Engineer)

Date

Prepared by (Village Manager)

Date

Owner shall preserve a copy of this authorization in a permanent contract file that is open to the public in accordance with P.A. 85-1295, Ill. Rev. Stat. Ch. 38, par. E-9.

Village of Wheeling) **Letter of Understanding**
Wheeling Park District) **Metra Parking Lot Connection to**
Wheeling Park District - Cost Sharing

The Village of Wheeling (“WHEELING”) and the Wheeling Park District (“PARK DISTRICT”) collectively referred to as the (“PARTIES”) desire to work together to complete a parking lot connection project between the Metra Parking lot in Wheeling Town Center and the Wheeling Park District overflow lot (the “PROJECT”). The project will promote accessibility between the Wheeling Town Center development and the Wheeling Park District campus.

1. The project specifics and responsibilities of each party are mutually agreed by and among the PARTIES hereto, and are understood to be the following as enumerated below:
2. WHEELING has agreed to act as the lead agency for this PROJECT and to perform the administrative functions associated with the PROJECT.
3. The total amount of the PROJECT shall be divided equally between the PARTIES at a predetermined cost based on the engineer’s opinion of probable cost for the project. The not to exceed cost share for the PARK DISTRICT for this PROJECT is \$42,436.62 (50%). WHEELING’s cost share for this PROJECT is \$42,436.63 (50%)
4. The PARTIES agree that after the PROJECT is completed, the PARK DISTRICT shall pay to WHEELING their respective obligation incurred under Letter of Understanding for payment of their share for the PROJECT not to exceed \$42,436.62 plus any additional approved expenses. This payment should be made to WHEELING prior to February 1st, 2026.
5. WHEELING has awarded the project to Chicagoland Paving, a qualified contractor (“CONTRACTOR”) to complete the PROJECT.
6. The CONTRACTOR has completed the PROJECT and the cost has exceeded the original engineer’s estimate and award amount. The Village intends to honor the original not to exceed amount for the PARK DISTRICT and will cover the remaining \$51,988.88 which will bring the total cost of the PROJECT to \$94,425.50.
7. This Letter of Understanding shall be deemed to take effect as of the date on which the duly authorized agent of the last of the PARTIES hereto execute this Letter of Understanding and affix their signature.

Town Center and Wheeling Park District Parking Lot Connection

8. It is mutually agreed by and among the PARTIES hereto that any alterations, amendments, deletions, or waivers of any provision of this Letter of Understanding shall be valid only when expressed in writing and duly executed by the PARTIES hereto.
9. This letter of Understanding may be executed in multiple identical counterparts, and all of said counterparts shall, individually and taken together, constitute this Letter of Understanding.
10. This Letter of Understanding shall be binding upon and inure to the benefit of the PARTIES hereto, their successors and assigns. No PARTY hereto may assign, transfer, sell, grant, convey, deed, cede or otherwise give over, in any manner or form, any of its rights, duties, obligations and/or responsibilities as heretofore set forth in this letter of Understanding without first obtaining the expressed written consent and permission of the other PARTIES to this Letter of Understanding.
11. It is mutually agreed by and among the PARTIES hereto that nothing contained in this Letter of Understanding is intended or shall be construed as in any manner or form creating or establishing a relationship of co-partners among the PARTIES hereto for any purpose or in any manner, whatsoever. The PARTIES are to be and shall remain independent of each other with respect to all services performed under this Letter of Understanding.
12. The individual signing this Letter of Understanding is duly authorized to do so in accordance with the laws of the State of Illinois or by local ordinance.

WHEELING PARK DISTRICT

VILLAGE OF WHEELING

By: _____
Jan Buchs, Executive Director
Wheeling Park District

By: _____
Jon Sfondilis, Village Manager
Village of Wheeling

Date: _____

Date: _____



MEMORANDUM

DATE: November 3, 2025
FROM: Dan Kaup, Deputy Village Manager/Public Works Director
SUBJECT: Resolution Accepting a Previously Bid State of Michigan Contract with Lafontaine CDJR-Lancing for the Purchase of Five Replacement Vehicles in the Total Amount of \$251,378
DOLLAR AMOUNT: \$251,378
BUDGETED: Yes
BUDGET SOURCE: Capital Equipment Replacement Fund (CERF)
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Financial Strength

EXECUTIVE SUMMARY

The attached resolution approves the purchase of five vehicles—two for Police Investigations, one for Fire, and two for Public Works—from LaFontaine Chrysler Dodge Jeep of Lansing in the total amount of \$251,378.00. The new vehicles are scheduled replacements for existing vehicles, and funds are allocated in the Capital Equipment Replacement Fund (CERF) for this purchase. The proposed contract was competitively bid through the State of Michigan.

MEMO

Background

The 2025 annual evaluation of the Village's fleet revealed that the following vehicles qualify for replacement:

- I-60 – Police Department 2018 Dodge Charger
- I-64 – Police Department 2019 Ford SUV
- 601 – Fire Department 2022 Ford SUV
- 870 – Public Works 2017 Ford F-250
- 904 - Public Works 2016 Ford F-250

Where applicable, the replaced vehicles will transition to the Village's audit vehicle system, thereby eliminating the need to purchase new administrative vehicles for other departments.

Discussion

Staff seeks to replace the five public-safety-approved vehicles listed above with two 2026 Dodge Durango Pursuit vehicles (I-64 and 601), one 2026 Jeep Grand Cherokee (I-60), and two 2026 Dodge Rams 2500 (870 and 904) from LaFontaine-CDJR of Lansing, Michigan State Contract #240000001206, at a total cost of \$251,378. LaFontaine-CDJR has the government purchase contract for Dodge and Chrysler vehicles.

Budget

The subject vehicles are included for replacement in the FY 2026 CERF; \$273,000 is currently allocated to the five vehicles.

RESOLUTION NO. 25- _____

RESOLUTION ACCEPTING A PREVIOUSLY BID STATE OF MICHIGAN CONTRACT WITH LAFONTAINE CDJR-LANSING FOR THE PURCHASE OF FIVE REPLACEMENT VEHICLES IN THE TOTAL AMOUNT OF \$251,378

WHEREAS, a 2025 fleet evaluation revealed that two Police Investigations, one Fire Administration, and two Public Works vehicles are in need of replacement; and

WHEREAS, the subject vehicles serve as integral parts of the departments' operations, and funds for their replacement have been allocated in the Capital Equipment Replacement Fund and budgeted for in FY 2026; and

WHEREAS, the Village's purchasing and bidding requirements are fulfilled through the State of Michigan's competitive bid process as reflected in Contract #240000001206 with LaFontaine CDJR-Lancing; and

WHEREAS, it is in the best interest of the Village of Wheeling to accept the previously-bid state of Michigan contract with Lafontaine CDJR-Lansing for the purchase of two 2026 Dodge Durango Pursuit, one 2026 Jeep Grand Cherokee, and two 2026 Dodge Ram 2500 vehicles;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village Manager is hereby authorized and directed to accept the contract for the purchase of five vehicles described herein through the State of Michigan Contract with LaFontaine CDJR-Lancing in the amount of \$251,378, as attached hereto.

Trustee _____ moved, second by Trustee _____,
that Resolution No. 25- _____ be adopted.

President Horcher	_____		
Trustee Krueger	_____	Trustee Ruffatto	_____
Trustee Lang	_____	Trustee Vito	_____
Trustee Papantos	_____	Trustee Vogel	_____

ADOPTED this 3rd day of November 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Kathryn M. Brady, Village Clerk

VILLAGE OF WHEELING
OPTION MATRIX FOR 2026 DODGE & JEEP ORDER

Option	Unit Price	Count	I-60	I-64	601	870	904	TOTAL
2026 Jeep Grand Cherokee	\$43,580	1	\$43,580.00					\$43,580.00
2026 Dodge Durango	\$46,743	1		\$45,016.00				\$45,016.00
2026 Dodge Durango FD	\$44,386	1			\$44,177.00			\$44,177.00
2026 Ram 2500 with Plow and Gate	\$59,303	2				\$59,302.50	\$59,302.50	\$118,605.00
Total			\$43,580.00	\$45,016.00	\$44,177.00	\$59,302.50	\$59,302.50	\$251,378.00

2026 CERF Allocation			\$43,000.00	\$50,000	\$55,000	\$62,500	\$62,500	\$273,000
Balance			-\$580.00	\$4,984.00	\$10,823.00	\$3,197.50	\$3,197.50	\$21,622.00

LaFontaine CDJR-Lansing
6131 S. Pennsylvania Ave.
Lansing, MI 48911
517-394-1022-Direct
517-394-1205-Fax
mdeacon@lafontaine.com

Name: Village of Wheeling
 Address: 77 W Hintz Rd
 City: Wheeling State: IL Zip: 60090
 Contact: Craig Miller
 Phone: 847.279.6961
 Email: cmiller@wheelingil.gov lrudnik@wheelingil.gov

Date: 10/20/2025
 Quote 102025

State of Michigan Contract 240000001206		
DJ7L62	2026 Ram 2500 Tradesman Reg Cab 4x4 8' box	\$41,532.00
2UA	6.4L V8	
PW7	Bright White	
V9X9	Cloth 40/20/40 Bench Seat	
A7B	Tradesman Level 1 Equipment Group	\$2,295.00
LHL	Auxiliary Switches - I/P Mounted	\$245.00
ANP	Bed Convenience Group	\$545.00
XCH	2 Additional Key Fobs	\$253.00
CK9	Delete Carpet	
	Special Equipment plow/tommygate	\$12,787.50
	Rustproofing	\$650.00
XBJ	Dual Alternators rated at 400 amps	\$495.00
	Per contract delivery is \$2.00 a mile one way mileage.	\$500.00
	By signing the purchase agreement you agree to purchase of the vehicle or vehicles X_____	
	Total Cost:	\$59,302.50

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee

LaFontaine CDJR-Lansing
6131 S. Pennsylvania Ave.
Lansing, MI 48911
517-394-1022-Direct
517-394-1205-Fax
mdeacon@lafontaine.com

Name: Village of Wheeling
 Address: 77 W Hintz Rd
 City: Wheeling State: IL Zip: 60090
 Contact: Craig Miller
 Phone: 847.279.6961
 Email: cmiller@wheelingil.gov lrudnik@wheelingil.gov

Date: 10/20/2025
 Quote 102025

State of Michigan Contract 240000001206		
DJ7L62	2026 Ram 2500 Tradesman Reg Cab 4x4 8' box	\$41,532.00
2UA	6.4L V8	
PW7	Bright White	
V9X9	Cloth 40/20/40 Bench Seat	
A7B	Tradesman Level 1 Equipment Group	\$2,295.00
LHL	Auxiliary Switches - I/P Mounted	\$245.00
ANP	Bed Convenience Group	\$545.00
XCH	2 Additional Key Fobs	\$253.00
CK9	Delete Carpet	
	Special Equipment plow/tommygate	\$12,787.50
	Rustproofing	\$650.00
XBJ	Dual Alternators rated at 400 amps	\$495.00
	Per contract delivery is \$2.00 a mile one way mileage.	\$500.00
	By signing the purchase agreement you agree to purchase of the vehicle or vehicles X_____	
	Total Cost:	\$59,302.50

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee

LaFontaine CDJR-Lansing
6131 S. Pennsylvania Ave.
Lansing, MI 48911
517-394-1022-Direct
517-394-1205-Fax
mdeacon@lafontaine.com

Name: Village of Wheeling
 Address: 77 W Hintz Rd
 City: Wheeling State: IL Zip: 60090
 Contact: Craig Miller
 Phone: 847.279.6961
 Email: cmiller@wheelingil.gov lrudnik@wheelingil.gov

Date: 10/20/2025
 Quote 102025

State of Michigan Contract 240000001206	
2026 Jeep Grand Cherokee 2 row 4x4	\$39,558.00
Cloth Seats	
Diamond Black	\$536.00
Tech Package	\$1,616.00
two additional keys \$360.00 x 2 = \$720.00	\$720.00
Undercoating / Rustproofing	\$650.00
Per contract delivery is \$2.00 a mile one way mileage.	\$500.00
By signing the purchase agreement you agree to purchase of the vehicle or vehicles X_____	
Total Cost:	\$43,580.00

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee

LaFontaine CDJR-Lansing

6131 S. Pennsylvania Ave.

Lansing, MI 48911

517-394-1022-Direct

517-394-1205-Fax

mdeacon@lafontaine.com

#601

Name: Village of Wheeling
 Address: 77 W Hintz Rd
 City: Wheeling State: IL Zip: 60090
 Contact: Craig Miller
 Phone: 847.279.6961
 Email: cmiller@wheelingil.gov lrudnik@wheelingil.gov

Date: 10/20/2025
 Quote 102025

State of Michigan Contract 240000001206		
WDEE75	2026 Dodge Durango Pursuit Vehicle AWD	\$39,761.00
2BZ	3.6L V6	
PRV	Octane Red Pearl	\$356.00
C5X9	Black Cloth Bucket Seats w/Shift Insert	
ADG	Technology Group	\$2,910.00
	Undercoating	\$650.00
	Per contract delivery is \$2.00 a mile one way mileage.	\$500.00
	By signing the purchase agreement you agree to purchase of the vehicle or vehicles X_____	
	Total Cost:	\$44,177.00

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee

LaFontaine CDJR-Lansing

6131 S. Pennsylvania Ave.

Lansing, MI 48911

517-394-1022-Direct

517-394-1205-Fax

mdeacon@lafontaine.com

I-64

Name:	Village of Wheeling		
Address:	77 W Hintz Rd		
City:	Wheeling	State:	IL Zip: 60090
Contact:	Craig Miller		
Phone:	847.279.6961		
Email:	cmiller@wheelingil.gov lrudnik@wheelingil.gov		

Date:	10/21/2025
Quote	102125

State of Michigan Contract 240000001206		
WDEE75	2026 Dodge Durango Pursuit	\$39,761.00
2BZ	3.6 V6	
PDN	Destroyer Gray	\$395.00
C5X9	Black Cloth Bucket Seats w/Rear Cloth	
ADG	Technology Group	\$2,910.00
CUF	Full Length Floor Console	\$370.00
WP1	18x8.0 Painted Aluminum Wheels	\$430.00
	Undercoating	\$650.00
	Per contract delivery is \$2.00 a mile one way mileage.	\$500.00
	By signing the purchase agreement you agree to purchase of the vehicle or vehicles X_____	
	Total Cost:	\$45,016.00

Signed Michelle Deacon

Please note payment is due within 30 days of delivery. Any invoices paid after 30 days may be subject to a 1.5% late fee



MEMORANDUM

DATE: November 3, 2025
FROM: Dan Kaup, Deputy Village Manager/Public Works Director
SUBJECT: Resolution Authorizing Acceptance of a Previously Bid Suburban Purchasing Cooperative Contract for the Purchase of Five 2026 Ford Police Interceptor Utility Vehicles from Currie Motors in the Total Amount of \$246,454
DOLLAR AMOUNT: 246,454
BUDGETED: Yes
BUDGET SOURCE: Capital Equipment Replacement Fund
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Financial Strength

EXECUTIVE SUMMARY

The attached resolution approves the purchase of five (5) police patrol vehicles through the Suburban Purchasing Cooperative's previously bid contracts with Currie Motors of Frankfort, Illinois in the amount of \$246,454.

MEMO

Background

The 2025 annual evaluation of the Village's fleet revealed that the following vehicles qualify for replacement:

- P-44 – Police Department 2023 Ford Police Interceptor
- P-48 – Police Department 2022 Ford Police Interceptor
- P-49 – Police Department 2023 Ford Police Interceptor
- P-50 – Police Department 2017 Ford Police Interceptor
- A-40 – Police Department 2022 Ford Police Interceptor (Admin)

The typical service life of an active police squad car is approximately three years. These vehicles are replaced frequently due to the demanding nature of police work, which results in high mileage, significant wear, and increased maintenance costs. As a result, older squad cars quickly become less reliable and more expensive to maintain than to replace. Beyond a certain mileage—typically between 85,000 and 120,000 miles—the rising expenses associated with repairs and upkeep generally exceed the cost of acquiring a new vehicle, making regular replacement both practical and cost-effective.

Discussion

The current Police Department vehicles will be replaced with model year 2026 Ford Police Interceptor utility vehicles. Where applicable, the replaced vehicles will transition to the Village's audit vehicle system, thereby eliminating the need for the purchase of new administrative vehicles for other departments.

The Suburban Purchasing Cooperative (SPC) published an invitation to bid and subsequently issued a contract to Currie Motors of Frankfort, Illinois for the furnishing of public-safety-approved utility vehicles meeting the Village of Wheeling's specifications.

Budget

The subject vehicles are included for replacement in the FY 2026 Capital Equipment Replacement Fund (CERF), and \$279,000 is allocated for the five vehicles, including the vehicle cost and equipment costs.

Strategic Plan Theme

Financial Strength

RESOLUTION NO. 25- _____

RESOLUTION AUTHORIZING ACCEPTANCE OF A PREVIOUSLY BID SUBURBAN PURCHASING COOPERATIVE CONTRACT FOR THE PURCHASE OF FIVE 2026 FORD POLICE INTERCEPTOR UTILITY VEHICLES FROM CURRIE MOTORS IN THE TOTAL AMOUNT OF \$246,454

WHEREAS, a 2025 evaluation determined that five (5) Police Department Patrol Division vehicles need replacement; and

WHEREAS, the subject vehicles serve as integral parts of the Department’s operations, and funds for their replacement have been allocated in the Capital Equipment Replacement Fund and budgeted in FY 2026; and

WHEREAS, the Suburban Purchasing Cooperative (SPC) published an invitation to bid and subsequently issued a contract to Currie Motors of Frankfort, Illinois, for the furnishing of public-safety-approved utility vehicles meeting the Village of Wheeling’s specifications; and

WHEREAS, it is in the best interest of the Village of Wheeling to participate in the SPC contract for the purchase of five (5) 2026 all-wheel drive Ford Police Interceptor utility vehicles;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village Manager is hereby authorized and directed to accept the contract for the purchase of five (5) vehicles described herein through the Suburban Purchasing Cooperative in the amount of \$246,454 as attached hereto.

Trustee _____ moved, second by Trustee _____,
That Resolution No. 25- _____ be adopted.

President Horcher	_____		
Trustee Krueger	_____	Trustee Ruffatto	_____
Trustee Lang	_____	Trustee Vito	_____
Trustee Papantos	_____	Trustee Vogel	_____

ADOPTED this 3rd day of November, 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk

VILLAGE OF WHEELING
OPTION MATRIX FOR 2026 FORD POLICE INTERCEPTOR ORDER

Option	Description	Unit Price	Count	P-44	P-48	P-49	P-50	A-40	TOTAL
K8A	BASE	\$44,954.00	5	\$44,954	\$44,954	\$44,954	\$44,954	\$44,954	\$224,770
18X	100 Watt Siren Speaker (includes bracket and pig tail)	\$329.00	1					\$329	\$329
67V	Connector Kit	\$188.00	5	\$188	\$188	\$188	\$188	\$188	\$940
85R	Rear Mounting Plate (NA with 65U, 85D)	\$56.00	4	\$56	\$56	\$56	\$56		\$224
43A	Rear Auxiliary Lights	\$376.00	5	\$376	\$376	\$376	\$376	\$376	\$1,880
51R	Drivers Side Unity Spot Light	\$0.00	4	\$0	\$0	\$0	\$0		\$0
63B	Side Marker Lights	\$461.00	5	\$461	\$461	\$461	\$461	\$461	\$2,305
63L	Quarter Glass Lights	\$546.00	5	\$546	\$546	\$546	\$546	\$546	\$2,730
66A	Front Headlamp Package	\$846.00	5	\$846	\$846	\$846	\$846	\$846	\$4,230
66B	Tail Lamp Package	\$405.00	5	\$405	\$405	\$405	\$405	\$405	\$2,025
66C	Rear Light Package	\$432.00	5	\$432	\$432	\$432	\$432	\$432	\$2,160
21L	Front Auxiliary Light	\$546.00	5	\$546	\$546	\$546	\$546	\$546	\$2,730
65U	Interior Upgrade Package-Includes Civilian-Style Console /Carpet-NA w/99C	\$573.00	1					\$573	\$573
87M	4" Rear Camera (1/4 size Picture in Picture in Upper Left Quadrant of Display)	\$0.00	5	\$0	\$0	\$0	\$0	\$0	\$0
UM	Agate Black	\$0.00	5	\$0	\$0	\$0	\$0	\$0	\$0
	Rustproofing (Does Not Include Undercoating)	\$395.00	1					\$395	\$395
	License and Title- Municipal	\$203.00	4	\$203	\$203	\$203	\$203		\$812
	Passenger Title and Plates	\$351.00	1					\$351	\$351
Total				\$49,013	\$49,013	\$49,013	\$49,013	\$50,402	\$246,454
2026 CERF Allocation				\$52,000	\$52,000	\$52,000	\$70,000	\$53,000	\$279,000



**2026 Ford Utility
Interceptor Contract #204**

\$44,954.00



Currie Motors Fleet

Nice People to do Business With!

Good Thru 10/24/25



2026 Ford Utility Interceptor

\$44,954.00

Standard Features

MECHANICAL ● **3.3L V-6 TI-VCT Motor Gasoline –Standard** ● AWD Drivetrain Transmission – 10-speed automatic, police calibrated ● Brakes – Police calibrated high-performance ● 4- Wheel heavy-duty disc w/heavy-duty front and rear calipers

● Brake Rotors – large mass for high thermal capacity and calipers with large swept area. ● Electric Power-Assist Steering (EPAS) – Heavy-Duty ● DC/DC converter – 220-Amp ● Cooling System – Heavy-duty, Engine oil cooler and transmission oil cooler ● Engine Idle Hour Meter ● Powertrain mounts – Heavy-Duty ● Class III Trailer Hitch Receiver and (2) recovery hooks ● Class III Trailer Tow Lighting Package ● Wheels— Heavy-duty steel, vented with center cap— Full size spare tire w/TPMS ● 50-State Emissions System ● H8 AGM Battery ● **Engine Idle Control** ● Manual Police Pursuit Mode

EXTERIOR ● Antenna, Roof-mounted ● Cladding – Lower body-side cladding ● Door Handles – Black

● Exhaust, True Dual ● **Daytime Running Lamps – Configurable ON/OFF through instrument cluster** ● Door-Lock Cylinders (Front Driver / Passenger / Lift-gate) ● Glass – 2nd Row, Rear Quarter and Lift-gate Privacy Glass ● Grille – Black ● Headlamps – Automatic, LED Low-and-High-Beam ● Lift-gate – Manual 1-Piece – Fixed Glass w/Door-Lock Cylinder ● Mirrors – **Black Caps Power Electric Remote Heated Manual Folding with Integrated Spotter** ● Spare – Full size 18" Tire w/TPMS ● Spoiler – Painted Black ● Lift-gate Handle ● Tail lamps – LED ● Tires – 255/60R18 A/S BSW ● Wheel-Lip Molding – Black ● Wheels – 18" x 8.0 painted black steel with polished stainless steel hub cover ● Windshield – Acoustic Laminated ● **Rear Tail Light Housing**

INTERIOR/COMFORT ● Cargo Hooks in cargo area ● Climate Control – Dual-Zone Electronic Automatic Temperature Control ● Door-Locks— Power ● Fixed Pedals (Driver Dead Pedal) ● Floor – Heavy-Duty Thermoplastic Elastomer ● Glove Box – Locking/non-illuminated ● Grab Handles ● Heated Sanitization Solution ● **Lift gate Release Switch located in overhead console (45 second timeout feature)** ● Lighting— Overhead Console— Red/White Task Lighting in Overhead Console— 3rd row overhead map light ● Mirror – Day/night Rear View ● Particulate Air Filter ● Power points – (1) First Row ● Rear-door closeout panels ● Rear-window Defrost ● Scuff Plates – Front & Rear ● Seats— 1st Row Police Grade Cloth Trim, Dual Front Buckets with reduced bolsters — 1st Row – Driver 6-way lower track (fore/aft. Up/down, tilt with manual recline, 2-way manual lumbar) — 1st Row – passenger 2-way manual track (fore/aft. with manual recline) — Built-in steel intrusion plates in both driver/passenger seatbacks — 2nd Row Vinyl, 35/30/35 Split Bench Seat (manual fold-flat, no tumble) ● Speed (Cruise) Control ● Speedometer –

Calibrated (includes digital readout) ●Steering Wheel – Manual / Tilt / Telescoping, Speed Controls and 4 user – configurable latching switches Sun visors, color-keyed, non-illuminated ●Universal Top Tray – Center of I/P for mounting aftermarket equipment ●Windows, Power, 1-touch Up/Down Front Driver/Passenger-Side with disable feature● **Power Passenger Seat ● Courtesy Lights Disabled ● Rear Dome Light ●Aux. Rear A/C**

SAFETY/SECURITY ●Advance Trac® w/RSC® ●Airbags, dual-stage driver & front-passenger, side seat, passenger-side knee, Roll Curtain Airbags and Safety Canopy®●Anti-Lock Brakes (ABS) with Traction Control ● Brakes – Police calibrated high-performance regenerative braking system ●Belt-Minder® (Front Driver / Passenger)●Child-Safety Locks ●Individual Tire Pressure Monitoring System (TPMS)●LATCH (Lower Anchors and Tethers for Children) system on rear outboard seat locations ●Rearview Camera viewable on 8"Center Stack ● Seat Belts, Pretensioner /Energy-Management System w/adjustable height in 1st Row ●SOS Post-Crash Alert System™● Perimeter Alert ● Remote Keyless Fob ●BLIS ●Cross Traffic Brake Assist ●Pre-Collision Mitigation System ●Reverse Sensing System

Police Up-fit Friendly ●Consistent 11-inch space between driver and passenger seats for aftermarket consoles (9-inch center console mounting plate)●Console mounting plate ●Dash pass-thru opening for aftermarket wiring ●Headliner- easy to service ●Two (2) 50 amp battery ground circuits – power distribution junction block (repositioned behind 2nd row seat floorboard). ● Grill Wiring ●100 Watt siren/Speaker Prep Kit

Functional ●Audio— AM/FM / MP3 Capable / Clock / 4-speakers— SYNC® interface — Includes hands-free voice command support — USB Port — (1) — 8" Color LCD Screen Center- Stack "Smart Display"● Easy Fuel® Capless Fuel-Filler ●Fleet Telematics Modem to support Ford Pro™ Telematics ●Front door tether straps (driver/passenger)●Power pigtail harness ●Simple Fleet Key; 4-keys●Two-way radio pre-wire ●Two (2) 50 amp battery power circuits – power distribution junction block (behind 2nd row passenger seat floorboard)●Wipers – Front Speed- Sensitive Intermittent; Rear Dual Speed Wiper ●Up fitter Interface System ●PAITRO output tied to lift gate release switch ●3 Year 36,000 Mile Warranty-5 Year 100,000 mile Powertrain Warranty ●Delivery under 75 miles



Models

K8A	2026 Utility Interceptor- 3.3L V-6 TI-VCT Motor	44,954.00

OPTIONS-Mechanical/Functional

99W-3.3L V-6 Direct Injected Hybrid System	2661.00
99C-3.0L Eco boost- NA w/ 65U	2,679.00
76D-Deflector Plate (engine and transmission shield)	320.00
41H-Block Heater	179.00
18X-100 Watt Siren Speaker (includes bracket and pig tail)	329.00
60R-Noise Suppression	94.00
67U-Ultimate Wiring Kit	602.00
67V-Connector Kit	188.00
85D-Front Console Mounting Plate Delete (NA with 67H, 67U, 85R)	NC
85R-Rear Mounting Plate (NA with 65U, 85D)	56.00
67H Ready For the Road Package-OEM Lighting and Wiring Package	3,807.00
18D-Global Lock/Unlock- Deletes 45 second Lift Gate Lock Release	N/C

Options-Exterior

16P Rear Bumper Step Pad	94.00
65L 18" Wheel Covers	65.00
Keyed Alike CODE _____	47.00
942-Daytime Running Light-Cannot be Reprogrammed	47.00
68G- Rear Door Locks Inoperable	N/C
52P-Hidden Door Lock Plunger Includes 68G	150.00
43A-Rear Auxiliary Lights	376.00
96T-Rear Spoiler Traffic Light-Compatible with Interior Upgrade Package	1,410.00
51P-Drivers Side Spot Light Prep	132.00
51S-Dual Spot Lights-Unity	743.00
51T-Drivers Spot Light-Whelen	394.00
51V-Dual Spot Lights-Whelen	828.00
51W-Dual Spot Prep	282.00
51R-Drivers Side Unity Spot Light- PLEASE SELECT IF DESIRED	N/C
63B-Side Marker Lights	461.00
63L-Quarter Glass Lights	546.00
66A-Front Headlamp Package	846.00
66B-Tail Lamp Package	405.00
66C-Rear Light Package	432.00
16D-Badge Delete	N/C
21L Front Auxiliary Light	546.00

Options-Interior

47E 12.1" Integrated Computer Screen	3,478.00
63V Cargo Vault (Lockable Small Compartment)	253.00
65U Interior Upgrade Package-Includes Civilian-Style Console /Carpet- NA w/99C	573.00
92R Solar Tint 2 nd Row (Deletes Privacy Glass)	85.00
92G Solar Tint 2 nd Row and Cargo Area (Deletes Privacy Glass)	112.00
87M 4" Rear Camera (1/4 size Picture in Picture in Upper Left Quadrant of Display)	N/C

	16C Carpet Floor Covering	141.00
	FW Ebony Cloth Seating	65.00
	90D Ballistic Door Panels (Level III +)-Driver Front Door Only	1495.00
	90E Ballistic Door Panels (Level III+)- Driver and Passenger Front Doors Only	2979.00
	90F Ballistic Door Panels (Level IV+)- Driver Front Door Only	2274.00
	90G Ballistic Door Panels (Level IV +)- Driver and Passenger Front Doors Only	4541.00

Exterior Colors

	E4-Vermillion Red	
	YZ-Oxford White	
	LK-Dark Blue	
	LM-Royal Blue	
	M7-Carbonized Gray	
	TN-Silver Grey Metallic-Replaces Silver	
	UJ-Sterling Gray	
	UM-Agate Black	
	F1-Police Green	

Miscellaneous Options

	4-Corner LED Amber Strobes	1,595.00
	Rustproofing (Does Not Include Undercoating)	395.00
	Delivery Over 75 Miles	250.00
	Certificate of Origin (Customer to Complete Licensing)	N/C
	License and Title- Municipal	203.00
	Passenger Title and Plates	351.00



Title Name: _____

Title Address: _____

Title City: _____

Title Zip Code: _____

License Plate Desired: _____

Contact Name: _____

Phone Number: _____

PO Number: _____

FIN Code: _____

Tax Exempt Number: _____

Total Dollar Amount: \$ _____

Delivery Address: _____

Additional Information / Notes:

Authorized Signature: _____

Date: _____



IMPORTANT ORDERING INFORMATION

Orders require a signed original Purchase Order and Tax-Exempt Letter.

Stock Units Available

Submit documents to:

Currie Motors Commercial Center

10125 W Laraway
Frankfort, IL 60423

Main Phone: (815)464-9200

Contacts:

Tom Sullivan

Email: tsullivan@curriemotors.com

Phone: (815) 464-9200

Nic Cortellini

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Note: Production is based upon plant scheduling and commodity restrictions and is subject to cancellation.

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EXTERIOR ● Antenna, Roof-mounted ● Cladding – Lower body-side cladding ● Door Handles – Black

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Keyed Alike CODE _____	47.00
942-Daytime Running Light-Cannot be Reprogrammed	47.00
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96T-Rear Spoiler Traffic Light-Compatible with Interior Upgrade Package	1,410.00
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51W-Dual Spot Prep	282.00
51R-Drivers Side Unity Spot Light- PLEASE SELECT IF DESIRED	N/C
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	YZ-Oxford White	
	LK-Dark Blue	
	LM-Royal Blue	
	M7-Carbonized Gray	
	TN-Silver Grey Metallic-Replaces Silver	
	UJ-Sterling Gray	
	UM-Agate Black	
	F1-Police Green	

Miscellaneous Options

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	Rustproofing (Does Not Include Undercoating)	395.00
	Delivery Over 75 Miles	250.00
	Certificate of Origin (Customer to Complete Licensing)	N/C
	License and Title- Municipal	203.00
	Passenger Title and Plates	351.00



Title Name: _____

Title Address: _____

Title City: _____

Title Zip Code: _____

License Plate Desired: _____

Contact Name: _____

Phone Number: _____

PO Number: _____

FIN Code: _____

Tax Exempt Number: _____

Total Dollar Amount: \$ _____

Delivery Address: _____

Additional Information / Notes:

Authorized Signature: _____

Date: _____



IMPORTANT ORDERING INFORMATION

Orders require a signed original Purchase Order and Tax-Exempt Letter.

Stock Units Available

Submit documents to:

Currie Motors Commercial Center

10125 W Laraway
Frankfort, IL 60423

Main Phone: (815)464-9200

Contacts:

Tom Sullivan

Email: tsullivan@curriemotors.com

Phone: (815) 464-9200

Nic Cortellini

Email: ncortellini@curriemotors.com

Phone: (815) 464-9200

Note: Production is based upon plant scheduling and commodity restrictions and is subject to cancellation.

Payment is due at the time of delivery.



MEMORANDUM

DATE: November 3, 2025
FROM: Dan Kaup, Deputy Village Manager/Public Works Director
SUBJECT: Resolution Approving a One-Year Contract with Clean Cut Tree Service, Inc. for Creek and Waterway Tree Trimming and Removal Services in an Amount Not to Exceed \$30,000 for FY 2026
DOLLAR AMOUNT: 30,000
BUDGETED: Yes
BUDGET SOURCE: General Fund
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Community Image

EXECUTIVE SUMMARY

The attached resolution approves a one-year contract with Clean Cut Tree Service in an amount not to exceed \$30,000 for Fiscal Year 2026 for vegetation maintenance along Village waterways to enhance water flow and prevent flooding or erosion.

MEMO

Background

On an annual basis, the Village contracts with a private management service for vegetation maintenance, including tree trimming, removal of fallen or dead limbs, and brush clearing along Buffalo Creek, McDonald Creek, the Diversion Channel, and other miscellaneous waterways. The program is necessary for public safety and to ensure that the creeks and channels function properly for the conveyance of water.

Discussion

In October 2025, Public Works requested public bids for contractual creek and waterway maintenance and received three bid proposals. The bid specifications are based on a per-foot cost for tree, ditch, and brush clearing. The initial contract is for one year, with three optional one-year renewals. Fiscal Year 2026 will be the first year of the contract term.

Clean Cut Tree Service, Inc. of Grayslake provided the lowest responsive and responsible bid at \$13/foot for heavy tree clearing, \$4/foot for ditch clearing, and \$4/foot for brush clearing. This pricing from Clean Cut is consistent with prior contracts with the Village since 2022. Bid tabulations are attached.

Creek and waterway maintenance is focused annually on areas of need and can differ in price due to location and necessary personnel. Clean Cut has been in business since 1988 and has provided the Village with exceptional work for over 12 years. Public Works does not have sufficient staff or the specialized equipment needed to perform this work.

Budget

Funding is allocated in FY 2026 in the Sewer operating budget in the amount of \$30,000.

RESOLUTION NO. 25 - _____

RESOLUTION APPROVING A ONE-YEAR CONTRACT WITH CLEAN CUT TREE SERVICE, INC. FOR CREEK AND WATERWAY TREE TRIMMING AND REMOVAL SERVICES IN AN AMOUNT NOT TO EXCEED \$30,000 FOR FY 2026

WHEREAS, the Village annually contracts with a private management service for vegetation maintenance, including tree trimming, removal of fallen or dead limbs, and brush clearing along Buffalo Creek, McDonald Creek, the Diversion Channel, and other miscellaneous waterways; and

WHEREAS, the program is necessary for public safety and to ensure that the waterways function properly for the conveyance of water; and

WHEREAS, Public Works does not have qualified personnel or the amount or type of specialized equipment required to perform the subject work; and

WHEREAS, in October of 2025, Public Works issued a request for bids for contractual creek and waterway maintenance, with Clean Cut Tree Service, Inc. submitting the lowest responsive and responsible bid at \$13.00 per foot for heavy tree clearing areas and \$4.00 per foot for both ditch and brush clearing; and

WHEREAS, sufficient funds are budgeted and approved annually in the Utility (Sewer) Division; and

WHEREAS, the initial contract term is for one year, with three optional one-year renewals; and

WHEREAS, Clean Cut Tree Service, Inc., has provided good quality work and services for numerous years to the Village; and

WHEREAS, the referenced work is necessary and in the best interest of the Village of Wheeling;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village President is hereby authorized and directed to execute a one-year contract with Clean Cut Tree Service, Inc. for Creek and Waterway Tree Trimming and Removal Services in an amount not to exceed \$30,000 based on the per-linear-foot costs as specified above during FY 2026.

Trustee _____ moved, second by Trustee _____,
That Resolution No. 25- _____ be adopted.

President Horcher _____

Trustee Krueger _____ Trustee Ruffatto _____

Trustee Lang _____ Trustee Vito _____

Trustee Papantos _____ Trustee Vogel _____

ADOPTED this 3rd day of November, 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

ATTEST: _____
Patrick Horcher, Village President

Karen Henneberry, Deputy Village Clerk

VILLAGE OF WHEELING
Creek and Waterway Tree Trimming and
Removal Services

CONTRACT DOCUMENT

This agreement is made on this 3rd day of November 2025 between and shall be binding upon the Village of Wheeling, an Illinois municipal corporation (hereinafter referred to as the "Village"), and Clean Cut Tree Service, Inc. (hereinafter to as the "Contractor") and its successors.

Witnessed, that in consideration of the mutual promises of the parties delineated in the contract documents, the Contractor agrees to perform the services, and the Village agrees to pay for the following services as set forth in the contract documents:

Tree pruning, tree removal, and brush clearing along the Buffalo Creek, Wheeling Drainage Ditch, McDonald Creek, Echo Lake, and William Rogers Memorial Diversion Channel:

1. This contract shall embrace and include all the applicable contract documents listed below as if attached hereto or repeated herein:
 - a. Specification and Contract Document for Creek and Waterway Tree Trimming and Removal Services, consisting of the following:
 - i. Cover Sheet
 - ii. Table of Contents
 - iii. Invitation to Bid on Contract Document Legal Notice
 - iv. Standard General Conditions of the Construction Contract, EJCDC C-700 2007 Edition (as modified)
 - v. Specific Terms, Conditions and Instructions
 - vi. Bid Proposal Form
 - vii. Plans and Specifications
 - viii. All issued Addenda.
 - ix. Certificate of Eligibility to Enter into Public Contracts
 - x. Required Performance and Payment Bonds
 - xi. Required Certificate of Insurance
 - xii. All other Modifications issued after the execution of the Contract. A Modification is (1) a written amendment to the Contract signed by both parties, (2) a Change Order, (3) a Construction Change Directive or (4) a written order for a minor change in the work issued by the Engineer.
 - b. The Contractor's Proposal Dated 10/17/2025.
2. The Village agrees to pay, and the Contractor agrees to accept as full payment for the items and installation of the same, which are the subject matter of this contract the total sum ~~of~~ not to exceed \$30,000 paid in accordance with the provisions of the Local Government Prompt Payment Act.

3. The Contractor represents and warrants that it will comply will all applicable Federal, State and local laws concerning prevailing wage rates and all Federal, State and local laws concerning equal employment opportunities.
4. The Contractor shall commence work under this Contract upon written Notice to Proceed from the Village and shall complete work on this project by December 31 of each year from the date of the Notice to Proceed. Time is of the essence of this Contract and Contractor agrees to achieve completion within the contract time by all proper and appropriate means including working overtime without additional compensation.
5. Bonds required to guarantee performance and payment for labor and material for this work shall be in a form acceptable to the Village and shall provide that they shall not terminate on completion of the work, but shall be reduced to ten percent (10%) of the contract sum upon the date of final payment by the Village for a period of one (1) year to cover a warranty and maintenance period which Contractor agrees shall apply to all material and workmanship for one (1) year from the date of issuance of the final payment by the Village.
6. Pursuant to the provisions of Section 5 of the Mechanics' Lien Act of Illinois, prior to making any payment on this contract the Village demands that the Contractor furnish a written statement of the names of all parties furnishing labor and/or materials under this Contract and the amounts due or to become due on each. This statement must be made under oath or be verified by affidavit. Final payment shall not be issued by the Village, nor shall any retained percentage become due until releases and waivers of lien have been supplied as the Village designates.
7. In executing this Contract, Contractor agrees that it has examined the site of the work and the conditions existing therein, has examined the Contract Documents and taken and compared field measurements and conditions with those Documents.
8. This Contract represents the entire Agreement between the parties and may not be modified without the written approval of both parties.
9. Where the terms of this Contract conflict with the provisions of the Contract Documents, the Contract Documents shall be binding.

IN WITNESS WHEREOF, the Village of Wheeling, Illinois by, Village President, and the Contractor have hereunto set their hands this _____ day of _____, 2025.

If an individual or partnership, all individual names of each partner shall be signed or if a corporation, an officer duly authorized shall sign here:

Accepted this _____ day of _____ 2025

Individual or Partnership _____ Corporation _____

By _____

Position/Title _____

Creek & Waterway Tree Trimming & Removal

By

Position/Title

Print Company Name

THE VILLAGE OF WHEELING, ILLINOIS

Accepted this 3rd day of November 2025

Patrick Horcher
Village President

Attest:

Karen Henneberry
Deputy Village Clerk

Creek and Waterway Tree Trimming and Removal Services (#9882438)

Owner: Wheeling

Solicitor: Wheeling IL, Village of

10/17/2025 11:00 AM CDT

				Clean Cut Tree Service, Inc.	Trees R Us	Bluestem Ecological Services
Item Code	Item Description	UofM	Quantity	Unit Price	Unit Price	Unit Price
1	Heavy Tree Clearing	Foot	1	\$13.00	\$10.00	\$25.00
2	Ditch Clearing	Foot	1	\$4.00	\$7.00	\$2.50
3	Brush Clearing	Foot	1	\$4.00	\$8.00	\$9.30



MEMORANDUM

DATE: November 3, 2025
FROM: Dan Kaup, Deputy Village Manager/Public Works Director
SUBJECT: Resolution Accepting and Approving a Contract with Anthem Excavation & Demolition Inc. for the 318 W. Dundee Road Demolition Project in an Amount Not to Exceed \$38,000
DOLLAR AMOUNT: 38,000
BUDGETED: No
BUDGET SOURCE: Town Center-II TIF
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Economic Development

EXECUTIVE SUMMARY

The house and garage at 318 West Dundee Road have been abandoned and in disrepair for many years. The property owner is allowing the Village to use this parcel to access the Streambank Stabilization Project scheduled to begin this winter. As a condition for allowing the Village to use this property, the buildings need to be demolished. Demolition of the structure also prepares the lot for any future development along the Dundee Road corridor. This resolution approves a not-to-exceed contract of \$38,000 with Anthem Excavation & Demolition Inc. to demolish the buildings and sidewalk at 318 West Dundee.

MEMO

Background

The Village is in the process of designing the Streambank Stabilization Project on the Wheeling Drainage Ditch between Northgate Parkway and Dundee Road. This project area has limited access, as it abuts private property on both sides other than the Village-owned property at 382 West Dundee Road. The owner of 318 West Dundee has agreed to allow the Village to use this parcel to access the Streambank Stabilization Project Area, as the house and garage have been abandoned and in disrepair for many years. As a condition of using this lot, the owner has asked the Village to demolish the house and garage. Demolition of the structure will also prepares the lot for any future development along the Dundee Road corridor.

Discussion

Public Works staff advertised a request for public bids on October 13, 2025, and received and opened seven bids on October 30, 2025. The bids ranged from \$33,465 to \$68,660. Anthem Excavation & Demolition Inc. of Itasca is the lowest-cost qualified and responsible bidder meeting all contract requirements. The project is expected to be done this fall. Traffic impacts will be minimal.

Budget

This project was not anticipated or budgeted in this year's Capital Improvement Plan, but is eligible for tax-increment financing (TIF) funding through the Town Center-II TIF District.

Strategic Plan Theme

Economic Development

RESOLUTION NO. 25 - _____

RESOLUTION ACCEPTING AND APPROVING A CONTRACT WITH ANTHEM EXCAVATION & DEMOLITION INC. FOR THE 318 W. DUNDEE ROAD DEMOLITION PROJECT IN AN AMOUNT NOT TO EXCEED \$38,000

WHEREAS, the owner of the property at 318 W. Dundee Road is allowing the Village to use this parcel to access the Village’s Streambank Stabilization Project; and

WHEREAS, as a condition for allowing the Village to use this property, the buildings need to be demolished; and

WHEREAS, Public Works staff advertised a request for public bids on October 13, 2025, and received and opened seven (7) bids on October 30, 2025, with the bids ranging in cost from \$33,465 to \$68,660; and

WHEREAS, Public Works has reviewed the bids and determined Anthem Excavation & Demolition Inc. of Itasca, Illinois to be the lowest qualified and responsible bidder meeting all contract requirements; and

WHEREAS, it is in the best interest of the Village to accept the bid from Anthem Excavation & Demolition Inc for the 318 W. Dundee Road Demolition Project;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village Manager is hereby authorized and directed to execute a contract with Anthem Excavation & Demolition Inc. in an amount not to exceed \$38,000 for the 318 W. Dundee Rd Demolition Project.

Trustee _____ moved, second by Trustee _____, that Resolution No. 25- _____ be adopted.

President Horcher _____

Trustee Krueger _____

Trustee Ruffatto _____

Trustee Lang _____

Trustee Vito _____

Trustee Papantos _____

Trustee Vogel _____

ADOPTED this 3rd day of November 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk

318 W.Dundee Road-House Demolition (#9909649)

Owner: Village of Wheeling

Solicitor: Wheeling IL, Village of

10/30/2025 11:00 AM CDT

						Engineer Estimate		Fowler Enterprises LLC		Anthem Excavation & Demolition Inc		Donegal Excavating	
Section Title	Line Item	Item Code	Item Description	UofM	Quantity	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
Base Bid							\$0.00		\$33,465.00		\$38,000.00		\$45,000.00
	1	1	318 Dundee Rd Demolition	LS	1			\$33,465.00	\$33,465.00	\$38,000.00	\$38,000.00	\$45,000.00	\$45,000.00
Base Bid Total:							\$0.00		\$33,465.00		\$38,000.00		\$45,000.00

AK PLUMBING OF IL, INC.		Strategic Demolition & Excavation		LoVerde Construction Co., Inc.		TDR Underground, Inc.	
Unit Price	Extension	Unit Price	Extension	Unit Price	Extension	Unit Price	Extension
	\$48,000.00		\$49,995.00		\$63,711.00		\$68,660.00
\$48,000.00	\$48,000.00	\$49,995.00	\$49,995.00	\$63,711.00	\$63,711.00	\$68,660.00	\$68,660.00
	\$48,000.00		\$49,995.00		\$63,711.00		\$68,660.00

VILLAGE OF WHEELING

318 W. Dundee Road-House Demolition

CONTRACT DOCUMENT

This agreement is made this 3rd day of NOVEMBER, 2025 between and shall be binding upon the Village of Wheeling, an Illinois municipal Corporation hereinafter referred to as (the "Village") and (Anthem Excavation) hereinafter to as (the "Contractor") and its successors.
+ Demolition Inc

Witnessed, that in consideration of the mutual promises of the parties delineated in the contract documents, the Contractor agrees to perform the services and the Village agrees to pay for the following services as set forth in the contract documents:

the complete demolition and disposal of the house, garage and sidewalk at 318 W. Dundee Road.

1. This contract shall embrace and include all of the applicable contract documents listed below as if attached hereto or repeated herein:
 - a. Specification and Contract Document for 318 W. Dundee Road-House Demolition , consisting of the following:
 - i. Cover Sheet
 - ii. Table of Contents
 - iii. Invitation to Bid on Contract Document Legal Notice
 - iv. Standard General Conditions of the Construction Contract, EJCDC C-700 2007 Edition (as modified)
 - v. Specific Terms, Conditions and Instructions and Blue Prints
 - vi. Bid Proposal Form
 - vii. Plans and Specifications
 - viii. All issued Addenda
 - ix. Certificate of Eligibility to Enter into Public Contracts
 - x. Required Performance and Payment Bonds
 - xi. Required Insurance Certificates
 - xii. All other Modifications issued after the execution of the Contract. A Modification is (1) a written amendment to the Contract signed by both parties, (2) a Change Order, (3) a Construction Change Directive or (4) a written order for a minor change in the work issued by the Engineer.
 - b. The Contractor's Bid Proposal Dated 10/30/2025
 - c. Required Performance and Payment Bonds and Certificate of Insurance

2. The Village agrees to pay, and the Contractor agrees to accept as full payment for the items, and installation of the same, which are the subject matter of this contract the total sum of \$ 38,000.00 paid in accordance with the provisions of the Local Government Prompt Payment Act.
3. The Contractor represents and warrants that it will comply will all applicable Federal, State and local laws concerning prevailing wage rates and all Federal, State and local laws concerning equal employment opportunities.
4. The Contractor shall commence work under this Contract upon written Notice to Proceed from the Village and shall complete work on this project within 40 calendar days from the date of the Notice to Proceed. Time is of the essence of this Contract and Contractor agrees to achieve completion within the contract time by all proper and appropriate means including working overtime without additional compensation.
5. Bonds required to guarantee performance and payment for labor and material for this work shall be in a form acceptable to the Village and shall provide that they shall not terminate on completion of the work, but shall be reduced to ten percent (10%) of the contract sum upon the date of final payment by the Village for a period of one (1) year to cover a warranty and maintenance period which Contractor agrees shall apply to all material and workmanship for one (1) year from the date of issuance of the final payment by the Village.
6. Pursuant to the provisions of Section 5 of the Mechanics' Lien Act of Illinois, prior to making any payment on this contract the Village demands that the Contractor furnish a written statement of the names of all parties furnishing labor and/or materials under this Contract and the amounts due or to become due on each. This statement must be made under oath or be verified by affidavit. Final payment shall not be issued by the Village nor shall any retained percentage become due until releases and waivers of lien have been supplied as the Village designates.
7. In executing this Contract, Contractor agrees that it has examined the site of the work and the conditions existing therein, has examined the Contract Documents and taken and compared field measurements and conditions with those Documents.
8. This Contract represents the entire Agreement between the parties and may not be modified without the written approval of both parties.
9. Where the terms of this Contract conflict with the provisions of the Contract Documents, the Contract Documents shall be binding.

IN WITNESS WHEREOF, the Village of Wheeling, Illinois by, Village President, and the Contractor have hereunto set their hands this _____ day of _____, 20____.

If an individual or partnership, all individual names of each partner shall be signed or if a corporation, an officer duly authorized shall sign here:

Accepted this 28 day of October, 2025

Individual or Partnership _____ Corporation X

By Elizabeth J. [Signature] Position/Title President
Antum Excavation + Demolition Inc

By

Position/Title

Print Company Name

THE VILLAGE OF WHEELING, ILLINOIS

Accepted this _____ day of _____, 20_.

Patrick Horcher
Village President

Attest:

Karen Henneberry
Deputy Village Clerk

Sarah Kabbani
Property Owner



MEMORANDUM

DATE: November 3, 2025
FROM: Jon Sfondilis, Village Manager
SUBJECT: Resolution Prohibiting the Use of Village Parking Lots, Vacant Lots, and Garages for Civil Immigration Enforcement Staging Areas, Processing Locations, or Operations Bases
DOLLAR AMOUNT: n/a
BUDGETED: No
BUDGET SOURCE: n/a
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Residential Life

EXECUTIVE SUMMARY

Enclosed for the Village Board's consideration and approval is a resolution prohibiting the use of Village parking lots, vacant lots, and garages for civil immigration enforcement staging areas, processing locations, or operations bases. This resolution reaffirms the Village's commitment to ensuring all residents' safety, dignity, and human rights, regardless of race, religion, immigration status, or national origin. It establishes clear limitations on how outside entities, including federal immigration enforcement agencies, may use Village-owned property.

MEMO

The key provisions of the proposed resolution are as follows:

1. *Prohibition of Use:* Parking lots, vacant lots, and garages that are owned and controlled by the Village may not be used as staging areas, processing locations, or operations bases for civil immigration enforcement.
2. *Implementation and Enforcement:* The resolution defines a "staging area" as a location used to assemble, mobilize, and deploy vehicles, equipment, materials, or related personnel for the purpose of carrying out immigration enforcement operations. Village departments will identify and secure any properties subject to such unauthorized use. Village personnel will install clear signage stating that the property may not be used for civil immigration enforcement:

This property is owned and controlled by the Village of Wheeling.

It may not be used for civil immigration enforcement as a: Staging Area, Processing Location, or Operations Base.

Within five (5) days of the resolution's passage, Village departments will develop and implement internal procedures to enforce compliance. Any Village employee aware of such activity must immediately report the activity to their supervisor, who will notify the Village Manager.

3. *Scope and Limitations:* The resolution does not prohibit federal agents from entering the public portions of Village-owned property for purposes of conducting immigration enforcement activities, nor does it interfere with lawful judicial warrants or criminal law enforcement actions. It does not apply to Village property under existing leases or concession agreements, and does not otherwise prohibit lawful activities unrelated to staging, processing, or setting up operations for civil immigration enforcement on Village property.
4. *Effective Date:* The resolution will take effect immediately upon passage by the Board of Trustees.

Legal Context and Reasoning

As a home-rule municipality under Article 7, Section 6 of the Illinois Constitution, the Village of Wheeling has the authority to regulate the use of its property and resources to protect the welfare and safety of its residents.

This action ensures that the Village maintains local control over its assets and upholds its commitment to equitable treatment and community trust.

The resolution is consistent with similar policies enacted by other Illinois municipalities and does not impede lawful federal activities conducted under judicial authority.

Recommendation

Staff recommends that the resolution prohibiting the use of Village parking lots, vacant lots, and garages for civil immigration enforcement staging areas, processing locations, or operations bases be approved as presented.

RESOLUTION No. 25-_____

RESOLUTION PROHIBITING THE USE OF VILLAGE PARKING LOTS, VACANT LOTS, AND GARAGES FOR CIVIL IMMIGRATION ENFORCEMENT STAGING AREAS, PROCESSING LOCATIONS, OR OPERATIONS BASES

WHEREAS, the Village of Wheeling ("Village"), Cook and Lake Counties, Illinois, is a home-rule unit of local government pursuant to Article 7, Section 6 of the Constitution of the State of Illinois; and

WHEREAS, the President and the Board of Trustees of the Village of Wheeling are committed to ensuring the safety, dignity, and human rights of all residents, regardless of race, religion, immigration status, or national origin; and

WHEREAS the unauthorized use of the Village of Wheeling's resources, property, or personnel to facilitate civil immigration enforcement actions interferes with the Village of Wheeling's authority over, and its use of, its own resources, property, and personnel; and

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COOK AND LAKE COUNTIES, ILLINOIS, AS FOLLOWS:

Section 1. Prohibition on Use of Village-Owned Parking Lots, Vacant Lots, and Garages.

No Village-owned and controlled parking lot, vacant lot, or garage shall be used as a staging area, processing location, or operations base for civil immigration enforcement.

For purposes of this resolution, "staging area" means an area that is used to assemble, mobilize, and deploy vehicles, equipment, or materials, and related personnel, for the purpose of carrying out civil immigration enforcement operations.

Section 2. Implementation and Enforcement.

Village Departments shall collaborate to identify Village-owned and -controlled parking lots, vacant lots, or garages that either have been used, or are likely to be used in the future, as staging areas, processing locations, or operations bases for the purpose of civil immigration enforcement. Village Departments shall ensure that all such properties have clear signage stating:

**This property is owned and controlled by the Village of Wheeling.
It may not be used for civil immigration enforcement as a:
Staging Area, Processing Location, or Operations Base.**

Village Departments shall further ensure that, wherever appropriate, physical barriers such as locked gates are used to limit access to Village-owned and -controlled parking lots, vacant lots, or garages consistent with this resolution.

Within five (5) days of the execution of this resolution, Village Departments shall develop the procedures necessary to implement this resolution. These implementing procedures shall provide that any Village employee who becomes aware of the attempted or actual use of a Village-owned and -controlled parking lot, vacant lot, or garage as a staging area, processing location, or operations base for civil immigration enforcement shall immediately report to their supervisor, who will communicate with the Village Manager.

Section 3. Scope.

This resolution does not apply to property that is subject to an existing lease or concession agreement to which the Village is a party. This resolution is not intended to, and shall not be interpreted to, interfere with any such lease or agreement.

Nothing in this resolution shall be construed as restricting or interfering with the execution of lawful judicial warrants or the enforcement of criminal law, nor as limiting the rights of any person or entity under state or federal law.

This resolution does not prohibit the lawful use of Village-owned and -controlled property for purposes other than a staging area, processing location, or operations base for civil immigration enforcement, nor does it restrict any person or entity from carrying out functions unrelated to those purposes on such property.

Section 4. Effective Date

This resolution will take effect upon its passage by the Board of Trustees of the Village of Wheeling.

Trustee _____ moved, second by Trustee _____
that Resolution No. 25- _____ be adopted.

President Horcher _____

Trustee Krueger _____

Trustee Lang _____

Trustee Papantos _____

Trustee Ruffatto _____

Trustee Vito _____

Trustee Vogel _____

ADOPTED this 3rd day of November 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher
Village President

ATTEST:

Karen Henneberry
Deputy Village Clerk



MEMORANDUM

DATE: November 3, 2025
FROM: Ross Klicker, Community Development Director
SUBJECT: Ordinance Granting Special Use Approval to Permit the Operation of a Retail Tobacco Establishment (Wheeling Tobacco), 1053 Lake Cook Road [Docket No. PSU25-0014]
DOLLAR AMOUNT: n/a
BUDGETED: Yes
BUDGET SOURCE: n/a
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Economic Development

EXECUTIVE SUMMARY

Wheeling Tobacco, LLC is seeking special use approval to permit the operation of a retail tobacco establishment at 1053 Lake Cook Road within the B-2 (Neighborhood Commercial) Zoning District. The facility would sell tobacco and CBD products. The Plan Commission did not recommend approval of the petitioner’s request, with a vote of three in favor and four opposed. The final decision regarding approval rests with the Village Board; the attached ordinance grants the requested special use if the Board decides to approve it.

MEMO

The petitioner is seeking special use approval to operate “Wheeling Tobacco,” a retail tobacco establishment to be located at 1053 Lake Cook Road in the B-2 (Neighborhood Commercial) Zoning District. The proposed store would sell tobacco and cannabidiol (CBD) products daily from 9 a.m. to 8:30 p.m. as outlined in the petitioner’s cover letter. The petitioner has not indicated the number of employees. The facility would also include a 341-square-foot temperature- and humidity-controlled cigar room.

Staff has informed the petitioner that onsite consumption is not permitted by the Zoning Code and that restricted CBD / tetrahydrocannabinol (THC) products are not permitted to be sold in Wheeling.

Plan Commission Recommendation

At the October 22, 2025 Plan Commission hearing, Commissioner Myer moved, seconded by Commissioner Karl, to recommend approval of Docket PSU25-0014, granting special use approval as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, in order in order to permit a retail tobacco establishment for Wheeling Tobacco, LLC, located at 1053 Lake Cook Road, in accordance with the exhibits listed below and subject to the following conditions:

1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.
4. The advertisement, display, sale and delivery of products containing synthetic cannabinoid, as defined in Chapter 8.54 of the Village Code, is prohibited.
5. The following text shall be displayed at all times in a prominent place which shall read as follows:

Warning to Minors

Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.

6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.

7. Tobacco and CBD products shall not be visible from the exterior of the subject space.
8. On-site consumption of tobacco and CBD products is prohibited.
9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention getting devices are prohibited.
10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.
11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.
12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

On the roll call, the vote was as follows:

AYES: Commissioners Sprague, Riles, Karl

NAYS: Commissioners Johnson, Hyken, Myer, Smart

ABSENT: None

There being three affirmative votes, the motion was not approved.

Community Development Director's Review and Recommendation

The Findings of Fact and Recommendation provided by the Plan Commission reflect a negative recommendation based on three yes votes and four no votes. An affirmative recommendation requires a majority of "yes" votes from the quorum of the Commission, which this petition failed to receive. Should the Village Board determine that the petitioner's request for special use approval is appropriate, the attached ordinance authorizes a special use permitting a retail tobacco establishment within the B-2 (Neighborhood Commercial Zoning) District at 1053 Lake Cook Road.

Attachments

Ordinance – Special Use Approval [Docket No. PSU25-0014]

Exhibits: Petitioner's Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025

Floor Plan, received by the Village on 9/20/2025

PC Staff Report

Attachments to Staff Report (Staff)

Public Comments

Findings of Fact - Draft

ORDINANCE NO. _____

ORDINANCE GRANTING SPECIAL USE APPROVAL TO PERMIT THE OPERATION OF A RETAIL TOBACCO ESTABLISHMENT, 1053 LAKE COOK ROAD (WHEELING TOBACCO)

WHEREAS, the Plan Commission of the Village of Wheeling held a public hearing on October 22, 2025, duly noticed in the *Daily Herald* on October 7, 2025, to consider a petition by Wheeling Tobacco, LLC for special use approval, as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, to permit a retail tobacco establishment located at 1053 Lake Cook Road, Wheeling, Illinois (hereinafter referred to as "Subject Site"), in the B-2 (Neighborhood Commercial) zoning district; and

WHEREAS, the Plan Commission has submitted its Findings of Fact and Recommendation to the President and Board of Trustees, recommending denial, by a vote of 3 in favor and 4 opposed to approval, with 0 absent; and

WHEREAS, the President and Board of Trustees deem it to be in the best interest of the Village to grant the petitioner's request;

NOW THEREFORE BE IT ORDAINED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS:

Section A

This Board of Trustees, after considering the Recommendation of the Plan Commission and other matters properly before it, hereby finds:

- The special use is necessary for the public convenience at that location;
- That the special use as requested will not alter the essential character of the area in which it is to be located;
- That the location and size of the special use, the nature and intensity of the operation involved in or conducted with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it, will be in harmony with the appropriate, and orderly development of the district in which it is located;
- The location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, or will not impair the value thereof;
- That the parking areas will be of adequate size for the particular use, properly located, and suitably screened from adjoining residential uses, entrance and exit drives shall be laid out as to prevent traffic hazards and nuisances; and
- The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulation in that zone.

Section B

A special use is hereby granted under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, to permit a retail tobacco establishment

Special Use for Retail Tobacco Establishment (Wheeling Tobacco, LLC)

in the B-2 (Neighborhood Commercial) zoning district, at the Subject Site, hereinafter legally described:

LEGAL DESCRIPTION

LOT 2 IN LEXINGTON COMMONS PLAZA UNIT 1, A RESUBDIVISION OF LOTS 1 AND 4 IN LEXINGTON COMMONS PLAZA, BEING A RESUBDIVISION OF LOT 2 IN LEXINGTON COMMONS UNIT 2, BEING A SUBDIVISION OF PART OF THE WEST HALF OF THE NORTHWEST QUARTER OF SECTION 3, TOWNSHIP 42 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN IN COOK COUNTY, ILLINOIS.

(The above-described property is commonly known as Lexington Commons Plaza, which is located at 1041–1085 Lake Cook Road, Wheeling, Illinois, and is zoned B-2 Neighborhood Commercial District. The special use is for the unit located at 1053 Lake Cook Road.)

Section C

The Special Use Approval granted in Section B of this Ordinance is to be completed substantially in accordance with the following plans and exhibits, attached hereto as **Exhibit A**:

- Petitioner’s Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025
- Floor Plan, received by the Village on 9/20/2025

Section D

The Special Use Approval granted in Section B of this Ordinance is subject to the following conditions:

1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.
4. The advertisement, display, sale and delivery of products containing synthetic cannabinoid, as defined in Chapter 8.54 of the Village Code, is prohibited.
5. The following text shall be displayed at all times in a prominent place which shall read as follows:

Warning to Minors

Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.

6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.
7. Tobacco and CBD products shall not be visible from the exterior of the subject space.
8. On-site consumption of tobacco and CBD products is prohibited.

Docket No. PSU25-0014
Special Use for Retail Tobacco Establishment (Wheeling Tobacco, LLC)

9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention getting devices are prohibited.
10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.
11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.
12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

Section E

This Ordinance shall be in full force and effect from and after its passage and approval, according to law.

Trustee _____ moved, seconded by Trustee _____,
that Ordinance No. _____ be passed, this 3rd day of November, 2025.

President Horcher _____

Trustee Krueger _____

Trustee Lang _____

Trustee Papantos _____

Trustee Ruffatto _____

Trustee Vito _____

Trustee Vogel _____

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk

APPROVED AS TO FORM ONLY:

Village Attorney

PUBLISHED in pamphlet form this 4th day of November, 2025, by order of the Corporate Authorities of the Village of Wheeling, Cook and Lake Counties, Illinois.

Docket No. PSU25-0014
Special Use for Retail Tobacco Establishment (Wheeling Tobacco, LLC)

Exhibit A (Attached)

- Petitioner's Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025
- Floor Plan, received by the Village on 9/20/2025



Agenda Item Details

Meeting	Oct 22, 2025 - Wheeling Plan Commission Regular Meeting
Category	7. Items for Review
Subject	B. Docket No. PSU25-0014, Request for Special Use Approval to Permit a Tobacco Retail Establishment for Wheeling Tobacco, LLC (1053 Lake Cook Road). PUBLIC HEARING
Access	Public
Type	Action, Discussion
Fiscal Impact	Yes
Budgeted	Yes
Recommended Action	<p>Recommend approval of Docket No. PSU25-0014, granting Special Use, as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, in order in order to permit a tobacco retail establishment for Wheeling Tobacco, LLC, located at 1053 Lake Cook Road, in accordance with the Petitioner's Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025; Floor Plan, received by the Village on 9/20/2025; and subject to the following conditions:</p> <ol style="list-style-type: none">1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.4. The advertisement, display, sale and delivery of products containing synthetic cannabinoid, as defined in Chapter 8.54 of the Village Code, is prohibited.5. The following text shall be displayed at all times in a prominent place which shall read as follows: Warning to Minors Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.7. Tobacco and CBD products shall not be visible from the exterior of the subject space.8. On-site consumption of tobacco and CBD products is prohibited.9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention getting devices are prohibited.10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

Public Content

Docket No. PSU25-0014: Wheeling Tobacco, LLC (1053 Lake Cook Road, Wheeling, IL, 60090), lessee, is seeking special use approval pursuant to Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.10 Use Regulations, and associated sections, in order to permit a tobacco retail establishment (Wheeling Tobacco) located at 1053 Lake Cook Road, which is zoned B-2, Neighborhood Commercial.

GENERAL PROPERTY INFORMATION

Petitioner: Samer Abusaymeh/Wheeling Tobacco, LLC (lessee)

Unit Size: 2,312 sq. ft.

Neighboring Property Land Use(s):

- North: Commercial (across Lake Cook Road)
- South: Residential
- West: Residential (across Lexington Drive)
- East: Residential

Existing Use of Property: Multi-tenant commercial building

Existing Zoning: B-2, Neighborhood Commercial

Comprehensive Plan Designation: Commercial

Zoning History: None

SUMMARY OF REQUEST

The petitioner, Samer Abusaymeh with Wheeling Tobacco, LLC, seeks a Special Use for the operation of a tobacco retail establishment (Wheeling Tobacco). As stated in the petitioner's project description letter (attached), the facility will be used to sell tobacco and CBD products.

SPECIAL USE ANALYSIS

A Special Use is the use of land in which, because of their unique characteristics, cannot ordinarily be allowed in a particular zoning district without consideration of their impact upon neighboring land uses and would not be detrimental to the public health, safety or general welfare. After review of the Standards summarized in this staff report, the Commission may impose reasonable restrictions that make the special use more compatible for the zoning district in which it is located, which may include conditions related to site plan aspects to mitigate adverse effects.

The petitioner is seeking to operate a tobacco retail establishment, which requires a special use in the B-2, Neighborhood Commercial Zoning District.

As outlined in the petitioner's cover letter (attached), the petitioner plans to operate Wheeling Tobacco, a retail store selling tobacco and CBD products. The proposed hours of operation will be daily from 9:00 AM to 8:30 PM. The petitioner did not indicate the number of employees. As shown on the attached Floor Plan, the facility will include a 341 sq. ft. temperature and humidity controlled cigar room. Staff has informed the petitioner that on-site consumption is not permitted by the Zoning Code and the restricted CBD/THC products not permitted to be sold in Wheeling, which the petitioner has acknowledged.

Staff has received a public comment letter expressing opposition to the project. A copy of the letter is included as an attachment for reference.

Standards for Special Use: The petitioner has submitted the following responses to the standards for special use. (Any staff comments follow the petitioner's response)

1. State why the Special Use is necessary for the public convenience at the proposed location.

Petitioner: The Village of Wheeling considers a tobacco retail store as a special use. The store is located in a shopping center which will allow customers convenient access as they are shopping at other stores

Staff: The petitioner has not demonstrated that a public convenience or community need exists for an additional tobacco retail establishment in this area. The proposed use appears to primarily serve as a private business venture rather than addressing a specific gap in available retail services.

2. State how the Special Use will not alter the essential character of the area in which it is to be located.

Petitioner: The store will adhere to the Village Shopping Center rules which includes store hours, maintenance, and visual appeal.

Staff: The proposed use is consistent with the B-2, Neighborhood Commercial Zoning District and the Comprehensive Land Use designation of Commercial.

3. State how the location and size of the Special Use, the nature and intensity of the operation involved in or conducted with it, the size of the site in relation to it, and the location of the site with respect to streets giving access to it will be in harmony with and not impede the normal, appropriate and orderly development of the district in which it is to be located and the development of surrounding properties.

Petitioner: The store is in a space similar to the surrounding retail stores. The store will not create any additional noise, odor, or other issues. The retail store will have no effect on the shopping center future development.

Staff: The proposed use will occupy a developed property with convenient public access that will not impede the surrounding properties.

4. State how the location, nature and height of buildings, walls and fences, and the nature and extent of the landscaping on the site shall be such that the use will not hinder or discourage the appropriate development and use of adjacent land and buildings, or will not impair the value thereof.

Petitioner: The retail store is within a shopping center. The owner of the shopping center has control over development. By signing an lease agreement, the owner is showing that they do not feel the proposed retail store will have a negative impact

Staff: There are no proposed changes to the exterior of the building or site, thus there will not be any impact on the development or use of adjacent land or buildings.

5. State how the parking areas will be of adequate size for the particular use, properly located and suitably screened from adjacent residential uses, entrance and exit drives shall be laid out so as to prevent traffic hazards and nuisances and the development will not cause traffic congestion.

Petitioner: The parking space for the shopping center was predetermined at the time of construction. There is plenty of parking space for my business and neighboring businesses. My client foot print is steady in and out but no rushes such as restaurants.

Staff: The site provides adequate shared parking for all tenants within the shopping center. The proposed use is not anticipated to generate significant traffic demand or congestion beyond typical retail activity levels.

6. State how the property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulation in that zone.

Petitioner: No other exception.

Staff: The proposed use is consistent with the B-2, Neighborhood Commercial Zoning District and the Comprehensive Land Use designation of Commercial. The property can yield a reasonable return under the permitted uses of the zoning district.

STAFF REVIEW

Fire Department Review: No comments from the Fire Department related to the Special Use.

Engineering Division Review: No comments from the Engineering Division related to the Special Use.

Staff Recommended Action: Should the Plan Commission consider the special use request, the following conditions should be considered:

1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.
4. The advertisement, display, sale and delivery of products containing synthetic cannabinoid, as defined in Chapter 8.54 of the Village Code, is prohibited.
5. The following text shall be displayed at all times in a prominent place which shall read as follows:

Warning to Minors

Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.

6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.
7. Tobacco and CBD products shall not be visible from the exterior of the subject space.
8. On-site consumption of tobacco and CBD products is prohibited.
9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention getting devices are prohibited.
10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.
11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.
12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

* * * * *

If the Plan Commission finds that the petitioner has satisfied the requirements for the granting of a special use to permit a tobacco retail establishment, the appropriate motion would be to:

Recommend approval of Docket No. PSU25-0014, granting Special Use, as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, in order in order to permit a tobacco retail establishment for Wheeling Tobacco, LLC, located at 1053 Lake Cook Road, in accordance with the Petitioner’s Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025; Floor Plan, received by the Village on 9/20/2025; and subject to the following conditions:

1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
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12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

ATTACHMENTS:

Location and zoning maps (Staff)

Petitioner’s Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025

Floor Plan, received by the Village on 9/20/2025

Public Comment Letter, name redacted

[Wheeling Tobacco Images.pdf \(993 KB\)](#)

[Project Description Letter 09112025.pdf \(278 KB\)](#)

[Floor Plan.pdf \(113 KB\)](#)

[PUBLIC COMMENT REDACTED.pdf \(167 KB\)](#)

Motion & Voting

Recommend approval of Docket No. PSU25-0014, granting Special Use, as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, in order in order to permit a tobacco retail establishment for Wheeling Tobacco, LLC, located at 1053 Lake Cook Road, in accordance with the Petitioner’s Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025; Floor Plan, received by the Village on 9/20/2025; and subject to the following conditions:

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6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.

7. Tobacco and CBD products shall not be visible from the exterior of the subject space.

8. On-site consumption of tobacco and CBD products is prohibited.

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10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.

11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.

12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

Motion by Michelle Myer, second by Steve Karl.

Final Resolution: Motion Fails

Yea: Mike Sprague, Gerald Riles, Steve Karl

Nay: Don Johnson, Rick Hyken, Michelle Myer, Diane Smart

WHEELING TOBACCO LLC

1053 LAKE COOK RD.

WHEELING , IL 60090

P: 6465492923

09/11/2025

DEAR VILLAGE OF WHEELING:

I'M SAMER ABUSAYMEH , AND I'M THE OWNER OF WHEELING TOBACCO , LLC AS SHOWN THE ADDRESS ABOVE , AND I WOULD LOVE TO OPEN THIS BUSINESS IN THE WHEELING CITY AND I'LL RESPECT ALL THE LAWS OF THE CITY . AND AS I MENTIONED ABOVE I'M A TOBACCO COMPANY RETAIL STORE I'LL BE SELLING A TOBACCO PRODUCT AND CBD PRODUCT AND I'M A KNOWLEDGABLE AND UNDERSTANDING ALL THE ILLINOIS REQUIREMENT .I READ THE PRODUCT LIMITATIONS .

I HOPE YOU'LL APPROVE MY BUSNINESS TO BE A PART OF THE WHEELING CITY .

AS YOU MENTIONED IN THE LETTER I RECEIVED FOR THE HOURS OF OPERATION , I WOULD LIKE TO LET YOU KNOW THAT THE OPERATION HOURS WILL BE AS BELOW :

MONDAY 9:00 AM TO 8:30 PM

TUESDAY 9:00 AM TO 8:30 PM

WEDNESDAY 9:00 AM TO 8:30 PM

THURSDAY 9:00 AM TO 8:30 PM

FRIDAY 9:00 AM TO 8:30 PM

SATURDAY 9:00 AM TO 8:30 PM

SUNDAY 9:00 AM TO 8:30 PM

I LOOK FORWARD TO HEAR FROM YOU AND I APPRECIATE YOU , I CAN BE REACHED OUT AT 646-549-2923 OR SAMERABUSAYMEH@GMAIL.COM

THANK YOU

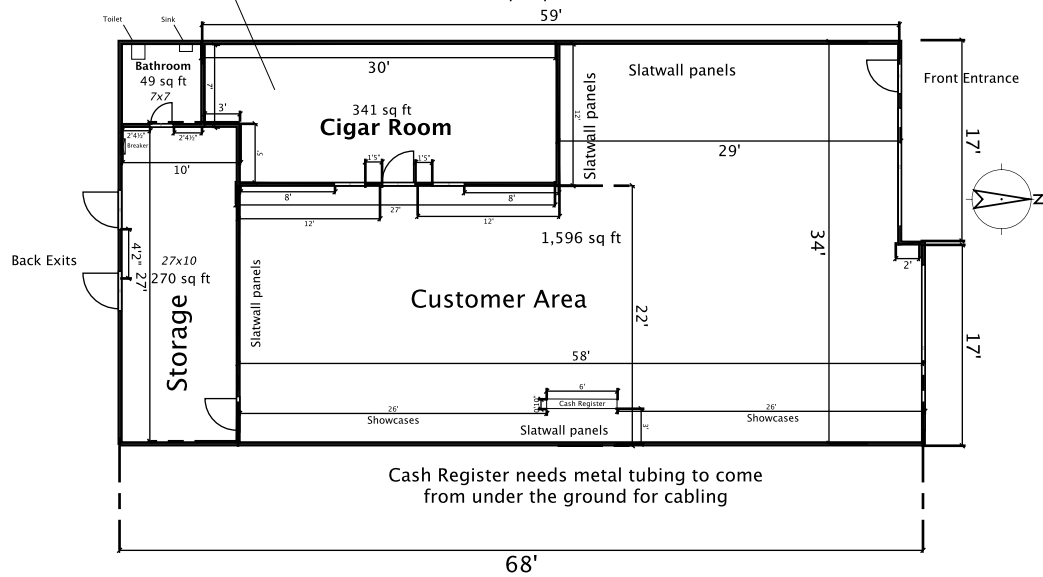
WHEELING TOBACCO

SAMER ABUSAYMEH

*1) CIGAR ROOM W/ TEMPERATURE & HUMIDITY CONTROL TO MAINTAIN 70 DEGREES F & OPTIMUM HUMIDITY OF 70RH

*2) CIGAR ROOM WALLS - 2x STUDS @ 16" O.C. W/ 5/8" DRYWALL, INSULATE CAVITY, WOOD PANEL FINISH INTERIOR AS SELECTED BY OWNER

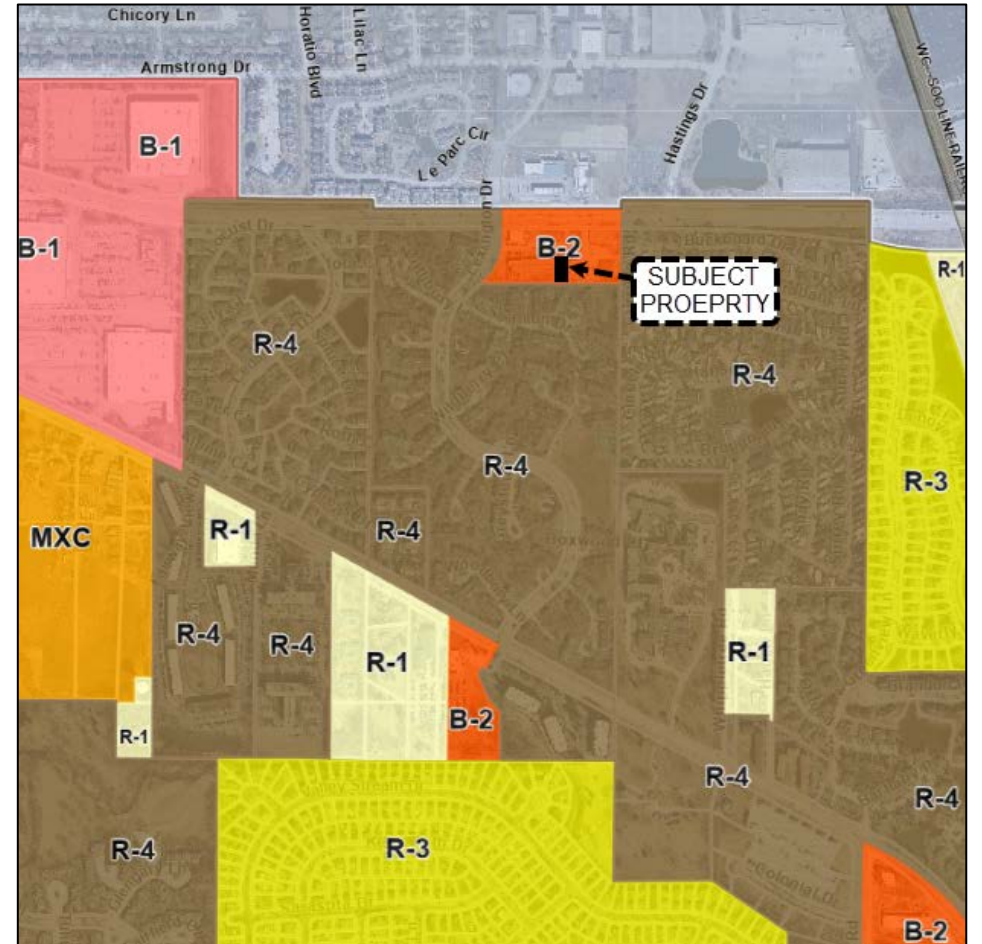
Wheeling Tobacco LLC
 1053 E Lake Cook Rd, Wheeling, IL 60090. Unit 1069, 1071
 09/20/2025



Front/back doors, windows, bathroom, and breaker are left as is



LOCATION MAP



ZONING MAP



FRONT OF THE STORE FACING SOUTH

October 12, 2025

To: Village of Wheeling Planning Division

From: Lexington Commons Owner - Karen Jacobson

Re: 1053 Lake Cook Road request from Wheeling Tobacco LLC

I would like to provide comments regarding the above request to seek special approval to operate a tobacco retail establishment in my Neighborhood. This is a very bad idea and I would like to provide the following reasons why this should not be permitted:

1. We already have multiple shops selling CBD and smoking products within a 2 mile radius of 1053 Lake Cook Rd, including Discount Smoke Hub on Dundee, Hatch dispensary on Lake Cook (walking distance from 1053), Sunnyside in Buffalo Grove, and Curaleaf just down Lake Cook Rd.
2. Practically every gas station sells tobacco products including the one across the street from the proposed site which advertises "tobacco products at the lowest price allowed by law".
3. Having a tobacco and CBD store is an Attractive Nuisance in that it will encourage kids who live in our complex and adults who don't live in our complex to hang out in the same place, leading to problems with our youth, in addition to getting them hooked on highly addictive nicotine.
4. This type of shop increases traffic in our neighborhood and is directly in the walking path between the pre school and our complex meaning mothers with babies and small children will have to watch out for even more strangers driving through our complex for a "fix."
5. Our complex is used as a cut through between Lake Cook Road and Dundee causing both backups and speeders depending on time of day. This will only increase and become more of a problem with people using us as a cut through to reach their nicotine or CBD fix.
6. Our bicycle lanes are often used by people in cars who just purchased Starbucks causing bicyclists to have to go in the street to get around the stopped cars, now we will have people lighting up and vaping in our bicycle lanes causing twice the problems.
7. The increased traffic also brings increased trash. We already have enough "Starbucks" cups and food wrappers to pick up. Tobacco wrappers, cigarette butts and vape cartridges will soon be littering our walkways and poisoning our pets and wildlife as people score their fix and take off through our complex to do their drugs.
8. Lexington Commons is currently a non-smoking (in our buildings) community and we have cleaned up the cigarette butts and other trash that smokers leave behind, this would likely change once strangers start picking up their tobacco products and then drive through Lexington Commons while smoking.
9. This also increases the Village's costs for oversight as it is their responsibility to make sure that adults are not going in to purchase products for juveniles, including 18 year old seniors buying products for their underage school mates as well as kids approaching older strangers to buy products for them.

10. Another increase to the Village's costs for oversight is their responsibility to ensure that the people employed by the Tobacco shop are actually checking identification and properly qualifying that customers are old enough to be purchasing nicotine and CBD
11. Allowing a small store that is not held to the scrutiny and oversight of a chain like Bucky's may be inclined to skirt age restrictions or other appropriate laws in order to make their sales quota.
12. I have lived in Lexington Commons for 30 years and have seen innumerable owner operated shops (and even some franchises) fail to make it in our little shopping center. I believe I speak for all of us in Lexington Commons when I say we don't need or want more traffic, more strangers, more litter, and more corruption of our kids in our own back yard.
13. We have other options ! We could invite an ice cream parlour, a barber shop, a hair salon, a nail salon, a restaurant, a shoe repair, a gift shop. The possibilities are endless.

In conclusion; I am asking as a mother who raised her family here and a community member who believes that families in Wheeling will not be served by allowing another Smoke shop in our neighborhood, and in fact we have every reason to NOT allow this proposal to move forward.

Please vote against allowing this special use to go through.

Thank You,

Karen

Karen Jacobson
1115 Scanlon Dr. #A2
Wheeling, IL 60090

**THE FOLOWING RESIDENTS OBJECT TO
THIS SPECIAL USE FOR A RETAIL
TABACCO ESTABLISHMENT AT 1053 LAKE
COOK ROAD.**

John Tepyr. James H. Miller
Gretta Benashvili

Shirley
Shirley Lerner
Mey Melzer Lilie
Gregory

Mitskevitska Valyria Jim
Molodanov Kostiantyn
Bella Lerner

Scorpan we were

Timothy D. ...

MAKSYM PAVLUSYK

[Signature]

Alex Alex
El Dgutt

Tetiana

Agneselwa

Andriy Klutsky

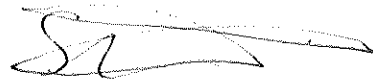
David Saktov

Mark Kolubien

Svetozar Radev

Prezalyer

Svetozar Jovanovic



Carol Jacek

Maria Shklover

**THE FOLOWING RESIDENTS OBJECT TO
THIS SPECIAL USE FOR A RETAIL
TABACCO ESTABLISHMENT AT 1053 LAKE
COOK ROAD.**

Svitlana Kokhanchuk S. Romoff

Lucia Cociorva Cociorva

Alex Sharetov

[Signature]

Brechen Schneider *[Signature]*

Anastasia Protas *[Signature]*

Harol Sutton *[Signature]*

Yachemya Karsan *[Signature]*

[Signature]

Andrew Rosen

A. Rosen

Jalena Sabaya *[Signature]*
[Signature]

Viktor Meloch *[Signature]*

peay tongre

Tran Dao

Riley Althea

DANIELA BAJIC
IRINA ARTEMCHUK

Barclimey Davae
Gwen Kukla

Euganna Marban

Shanua Grayzer

Shanetta Folle

JASMIN Bekova

Azar Garayev
Li

Tanya Marko

Carol Kerr

Chinta Pevzner

JORIS KARRIEM

Sasha Varanick

Margarita Razing

Viktor Razing

Daniela Bajic

Irina Artemchuk

Barclimey Davae

Gwen Kukla

Euganna Marban

Shanua Grayzer

Shanetta Folle

JASMIN Bekova

Azar Garayev

Tanya Marko

Carol Kerr

Chinta Pevzner

JORIS KARRIEM

Sasha Varanick

Margarita Razing

**THE FOLOWING RESIDENTS OBJECT TO
THIS SPECIAL USE FOR A RETAIL
TABACCO ESTABLISHMENT AT 1053 LAKE
COOK ROAD.**

Anna Koval

Anno Krutenko

Vilnis Skingris

Luis Camacho

Igor Shklover

Tatyana Shapkova

Tetiana Makza

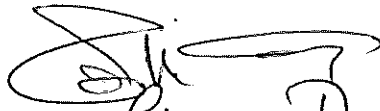
T.M.


**THE FOLOWING RESIDENTS OBJECT TO
THIS SPECIAL USE FOR A RETAIL
TABACCO ESTABLISHMENT AT 1053 LAKE
COOK ROAD.**

Angelica de la Torre	Angelica de la Torre
William D'Amico	William D'Amico
TARAS SHEEBKIUK	Stefano
Tatiana Girvet	Tommaso Girvet
Hanna Sheebkiuk	W. D'Amico
Olga Biedron	O. Biedron
Christina	Maria Nesteckis
Maria Nesteckis	Maria Nesteckis
Char Carpenter	
Shirley D'Amico	

**THE FOLOWING RESIDENTS OBJECT TO
THIS SPECIAL USE FOR A RETAIL
TABACCO ESTABLISHMENT AT 1053 LAKE
COOK ROAD.**

ZOCTAN GYUBIS



10/14/25

ANITA DANCSEK



CHRISTINE ADAMEC



JEFF MOSKALA - 10/21/25

ZORIANA SEREDIUK - 10/21/25 -



**FINDINGS OF FACT
AND RECOMMENDATION**

To: Village President and Board of Trustees

From: Wheeling Plan Commission/Sign Code Board of Appeal

Date: October 22, 2025

Re: Docket No. PSU25-0014
Request for a Special Use to Permit a Tobacco Retail Establishment (Wheeling Tobacco) for Samer Abusaymeh/Wheeling Tobacco, LLC (lessee), Located at 1053 Lake Cook Road. PUBLIC HEARING

Chairman Johnson called Docket No. PSU25-0014 on October 22, 2025. Present were Commissioners Riles, Myer, Hyken, Karl, Johnson, Sprague and Smart. Also present were Village Planner Marcy Knysz and Village Attorney Mallory Milluzzi.

The petitioner, Samer Abusaymeh with Wheeling Tobacco, LLC, seeks a Special Use for the operation of a retail tobacco establishment (Wheeling Tobacco), which requires a special use in the B-2, Neighborhood Commercial Zoning District. As stated in the petitioner's project description letter, the facility will be used to sell tobacco and CBD products.

As outlined in the petitioner's cover letter (attached), the petitioner plans to operate Wheeling Tobacco, a retail store selling tobacco and CBD products. The proposed hours of operation will be daily from 9:00 AM to 8:30 PM. The petitioner did not indicate the number of employees. As shown on the attached Floor Plan, the facility will include a 341 sq. ft. temperature and humidity controlled cigar room. Staff has informed the petitioner that on-site consumption is not permitted by the Zoning Code and the restricted CBD/THC products not permitted to be sold in Wheeling, which the petitioner has acknowledged.

Secretary Sprague reported that the petitioner was seeking a Special Use approval pursuant to Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19.10, to operate the tobacco retail establishment. He read the information related to the Special Use.

Ms. Knysz noted that the application and public comments that were received were entered into the record. She noted that staff stated that they did not believe there was a public convenience or community need for the establishment. Staff did not provide a recommendation either for or against it.

Samer Abusaymeh, business owner, stepped to the podium and was sworn in. Samer Abusaymeh reported that he planned to sell cigarettes, cigars, and CBD products in the tobacco shop.

Karen Jacobson was sworn in to provide public comment. She explained how close she

was to the property. She reported that recycling facilities continued to report improper recycling of vapes and that it had caused over 60 fires. The single-use vapes, which were what tobacco shops were selling, resulted in fires when crushed. She expressed her opposition to the shop.

James Miller was sworn in to provide public comment. He asked about the hours of operation and raised concerns about the cigar-smoking room, about ordinances to control smoking distances, and about noise.

Ms. Knysz clarified that there would be no smoking within the establishment.

Christine Adamec was sworn in to provide public comment. She expressed her opposition to the shop due to already having multiple shops and raised concerns about safety.

Linda Boness was sworn in to provide public comment. She raised concerns about smoking since it was bad for the people and the neighborhood. She stated that there were already shops where people could buy tobacco.

Samer Abusaymeh explained that no e-cigarettes were thrown away, and there were only empty boxes thrown away. The proposed hours of operation were from 9:00 AM to 8:30 PM.

Commissioner Myer asked why the location was chosen. Samer Abusaymeh explained that they had found the location and space were available, but they had not considered the other shops in the area. Commissioner Myer asked why there was a perceived need for the type of business in that area. Samer Abusaymeh explained that they liked the area. Commissioner Myer asked how the shop benefited the community. Samer Abusaymeh stated that he was not sure until they tried.

Commissioner Karl asked how many other tobacco shops he operated. Samer Abusaymeh reported that there were five in Minnesota. Commissioner Karl asked if they were in neighborhoods. Samer Abusaymeh stated that they were, and they had not caused any problems. He noted that they also sold candles, ashtrays, and other small items aside from just tobacco.

Commissioner Sprague asked what the most popular product was. Samer Abusaymeh reported that cigars were the most popular product. Commissioner Sprague asked what the biggest age group for clientele was. Samer Abusaymeh stated that the age depended on the product. Commissioner Sprague asked how many customers there were per day in general. Samer Abusaymeh explained that in some areas there were between 100 to 150 a day, and in others there were 200 to 250 per day. In smaller populations, there were only 40 to 60 people per day. Commissioner Sprague asked what exactly would be sold. Samer Abusaymeh stated that they would be selling tobacco products, candles, incense, lighters, and ashtrays. Commissioner Sprague asked how many employees there would be per shift. Samer Abusaymeh stated that there would be one, maybe two, employees per shift. Anyone under 21 could not be in the store. Commissioner Sprague raised concerns about enforcing the age requirement with only one employee. Samer

Abusaymeh confirmed that it would be enforced. Commissioner Sprague asked when the busiest times were and when the shift changes were. Samer Abusaymeh reported that it was generally busiest from 4:00 p.m. to 6:00 p.m., and the shifts were around five and a half hours, so the shift change occurred around 5:30 p.m.

Commissioner Smart asked why the store was a public convenience or why there was a public need since it was part of the statute. Samer Abusaymeh explained that it was not a public convenience, and they were not sure until they opened. Commissioner Smart asked if there may not be a need due to having other tobacco shops. Samer Abusaymeh explained that they could not know until they tried, but they knew there were other tobacco shops nearby.

Commissioner Riles asked about the need. Samer Abusaymeh discussed that it was hard to guess the community's needs. Commissioner Riles discussed the importance of location and sensing that there was some sort of need when deciding on the location. Samer Abusaymeh explained that the population was good, and it was big enough to open the business. Commissioner Riles discussed that it was important to be clear and transparent that there was a need since there was a percentage of people in the population who would purchase the product. Commissioner Riles raised concerns about the trash and asked what experiences he had at the other locations. Samer Abusaymeh reported that people bought the product and left the store. The dumpster at the store would only contain empty boxes. Commissioner Riles raised the concern about heavy traffic and asked how it would look at the location to reassure the citizens and residents. Samer Abusaymeh stated that there was a nice entrance and exit and did not foresee issues.

Commissioner Sprague asked where their other locations were. Samer Abusaymeh reported that they were all in Minnesota. Commissioner Sprague asked if Samer Abusaymeh was aware that taxes on his side of the road were more expensive than on the other side of the road, where competitors were, meaning that his products would be more expensive. Samer Abusaymeh confirmed that he was aware.

Chairman Johnson asked if there were any issues or resident complaints about tobacco shops in the town. Ms. Knysz stated that there had been some issues with underage purchases, but she was not aware of resident complaints.

Karen Jacobson stated that she went to some of the facilities that sold similar products, and they had someone at the door checking IDs, someone at the register, and a security guard. She noted that they did an ID check at the door and register. There used to be people smoking in their buildings, and it is no longer allowed. She raised concerns about the safety of the trash being thrown away.

Samer Abusaymeh stated that there would usually be a person checking IDs at the door for anyone who came in, and would not allow anyone under the age of 21 in the store.

Ms. Knysz read the proposed conditions:

1. No person shall sell, purchase, or furnish any cigar, cigarette, or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.
4. The advertisement, display, sale and delivery of products containing synthetic cannabinoids, as defined in Chapter 8.54 of the Village Code, is prohibited.
5. The following text shall be displayed at all times in a prominent place which shall read as follows: Warning to Minors: Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.
6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.
7. Tobacco and CBD products shall not be visible from the exterior of the subject space.
8. On-site consumption of tobacco and CBD products is prohibited.
9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention-getting devices are prohibited.
10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.
11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department, and a Business License obtained prior to any business operations occurring on the property.
12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

Ms. Knysz explained that the Plan Commission made a recommendation, and a summary of the comments would be compiled, and the findings of fact will be presented to the Village Board at the November 3 Village Board meeting. The Village Board makes the final decision.

There was further discussion about the traffic having to go through the shopping center

to get the end of the building, where the proposed business would be located. There were many young children on the sidewalks, and concerns were raised about the traffic. Further concerns were raised about the staffing at the store and covering the front of the store while selling specialized cigars in the humidor. Samer Abusaymeh explained that the customer would choose what they needed for a product and bring it to the front.

MOTION: Commissioner Myer moved, seconded by Commissioner Karl to recommend approval for Docket No. PSU25-0014, granting Special Use, as required under Title 19, Zoning, of the Wheeling Municipal Code, Chapter 19-10 Use Regulations, and associated sections, in order to permit a retail tobacco establishment for Wheeling Tobacco, LLC, located at 1053 Lake Cook Road, in accordance with the Petitioner's Project Description Letter prepared by Samer Abusaymeh, dated 9/11/2025; Floor Plan, received by the Village on 9/20/2025; and subject to the following conditions:

1. No person shall sell, purchase for, or furnish any cigar, cigarette or tobacco in any of its forms to any minor under twenty-one (21) years of age.
2. No person shall sell, purchase for, or furnish any tobacco accessories or smoking herbs to any minor under twenty-one (21) years of age.
3. The advertisement, display, sale, offering for sale, giving away or delivering of any tetrahydrocannabinol (THC) product, as defined in Chapter 8.8 of the Village Code, is prohibited.
4. The advertisement, display, sale and delivery of products containing synthetic cannabinoid, as defined in Chapter 8.54 of the Village Code, is prohibited.
5. The following text shall be displayed at all times in a prominent place which shall read as follows:

Warning to Minors

Persons under the age of twenty-one are subject to a fine up to five hundred dollars (\$500) under this Chapter of the Village of Wheeling for purchasing any tobacco product, or for misrepresenting their age for the purpose of purchasing or obtaining any tobacco product.

6. The sale, offering for sale, or delivery of any item of drug paraphernalia to any person, business, corporation, place, premises, company or other legal entity is prohibited.
7. Tobacco and CBD products shall not be visible from the exterior of the subject space.
8. On-site consumption of tobacco and CBD products is prohibited.
9. Pennants, streamers, banners, posters, ribbons, strings of light bulbs, spinners, inflatable objects, the outlining of windows with neon tubing or strings of lights, blinking or flashing, or other attention getting devices are prohibited.

10. A building permit must be obtained from the Community Development Department prior to commencing any construction in the building.
11. A completed Application for a Wheeling Business License shall be submitted to the Community Development Department and a Business License obtained prior to any business operations occurring on the property.
12. A Wheeling Sign Permit shall be required in order to permit any exterior signage to be installed, except for signage pursuant to Chapter 21.6 of the Wheeling Sign Code.

On the roll call, the vote was as follows:

AYES: Commissioners Sprague, Riles, Karl
NAYS: Commissioners Johnson, Hyken, Myer, Smart
ABSENT: None
ABSTAIN: None

There being three affirmative votes, the motion failed.

MOTION: Commissioner Myer moved, seconded by Commissioner Smart to close Docket No. PSU25-0014.

On the roll call, the vote was as follows:

AYES: Commissioners Hyken, Johnson, Karl, Myer, Sprague, Smart, Riles
NAYS: None
ABSENT: None
ABSTAIN: None

There being seven affirmative votes, the motion was approved.



MEMORANDUM

DATE: November 3, 2025
FROM: Leonard Becker, Economic Development Director
SUBJECT: Resolution Consenting to a Cook County Class 6b Real Estate Tax Assessment Classification for the Real Property Located at 199 Shepard Avenue, Wheeling, Illinois (PH Wheeling Industrial, LLC)
DOLLAR AMOUNT: n/a
BUDGETED: No
BUDGET SOURCE: n/a
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Economic Development

EXECUTIVE SUMMARY

PH Wheeling Industrial, LLC has applied for a Class 6b Real Estate Property Tax Classification based on new construction and substantial rehabilitation for the property at 199 Shepard Avenue. If the Village Board is in favor of the request it must approve a resolution in support in order for the applicant to file with Cook County.

MEMO

Background

The property at 199 Shepard Avenue consists of an approximately 102,569-square-foot industrial building on 414,636 square feet of land (9.52 acres). Built in 1976 and currently zoned I-3, the property is currently occupied by Aargus Plastics, JV Global Services, Ready Set Gourmet, and K1 Transfreight. The building currently has eight dock doors, 12 drive-in-doors, 24-foot clear height, and approximately 112 parking spaces.

The applicant recently acquired the site in a sale-leaseback from previous owner/occupant JV Global Services, which purchased the property in 2019 and invested over \$3 million in renovations to accommodate the current tenant roster. The Village Board approved a request for a 6b in 2019 to help facilitate the re-occupancy and renovation. To accommodate the growth of one of the tenants, Ready Set Gourmet (RSG), the applicant plans to construct a 14,796-square-foot freezer (cold storage) expansion to the existing building. The proposed expansion was recently reviewed by the Plan Commission and approved by the Village Board.

RSG is a food e-commerce and cold-chain logistics company that provides fulfillment, storage, and shipping for perishable (fresh/frozen) foods. RSG moved into the property in 2022 and currently leases 29,700 square feet; with the construction of the addition it would expand its operations to 44,486 square feet, and would use the addition for repacking, cold storage, and distribution.

If the 6b tax incentive is granted for the expansion, the applicant plans to spend over \$2.4 million to construct the 14,796-square-foot building expansion. The applicant expects improvements to begin immediately following Village approval, with completion and potential reoccupation in early 2026. The applicant also expects to create approximately 10 temporary construction jobs during the construction period.

Class 6b Classification

The applicant is requesting a Class 6b property tax classification based on new construction and substantial rehabilitation. This request only pertains to the new construction and does not impact, extend, or modify the 6b already in place. A Class 6b property tax classification will reduce the property's assessment rate to 10% for the first ten years, 15% on the eleventh year, and 20% on the twelfth year. The assessment rate without a Class 6b is 25%.

Fiscal Impact

If the applicant obtains a Class 6b, the building will be expanded, and \$2.4 million in capital improvements will be invested in the property. The following scenarios for 2026 compare the potential property taxation:

- Scenario where the expansion is made and the incentive is applied = \$ 349,016
- Scenario where the expansion is not made and land remains vacant = \$ 268,582

If the incentive is approved, over the 12-year period, the property is projected to generate \$1,085,854 in additional real estate taxes compared to the property remaining vacant with no expansion. As a result of the expansion, RSG expects to hire approximately nine new employees. RSG's expanded presence will benefit the local economy, as its employees and visitors will frequent Village restaurants, gas stations, stores, and more. The new employees are estimated to generate approximately \$38,138 in additional yearly revenue (economic impact) for the Village.

Recommendation

Economic Development staff has reviewed the application, as summarized above, and recommends approval of the 6b property tax classification based on new construction and substantial rehabilitation.

RESOLUTION 25 - _____

**RESOLUTION CONSENTING TO A COOK COUNTY CLASS 6b
REAL ESTATE TAX ASSESSMENT CLASSIFICATION FOR
THE REAL PROPERTY LOCATED AT 199 SHEPARD AVENUE, WHEELING, ILLINOIS
(PH WHEELING INDUSTRIAL, LLC)**

WHEREAS, the Village of Wheeling (the “Village”) desires to promote and preserve industrial uses in the Village; and

WHEREAS, the Cook County Assessor is operating under the Cook County Real Property Classification Ordinance (the “Ordinance”) enacted by the Cook County Board of Commissioners, as amended from time to time, which provides industrial property owners, in certain cases, with a reduction in the assessed valuation of an industrial facility, in order to induce companies to locate or remain in Cook County; and

WHEREAS, PH Wheeling Industrial, LLC (the “Petitioner”) has applied, or is applying, for a Class 6b Classification under the Ordinance, and has proven to the President and Board of Trustees of the Village (the “Village Board”) that such Class 6b Classification is necessary to encourage expansion and occupancy of the specific real estate identified below (the “Subject Property”); and

WHEREAS, an Economic Disclosure Statement has been received and filed by the Village of Wheeling; and

WHEREAS, the Petitioner intends to engage in new construction and substantial rehabilitation and will occupy a portion of the Subject Property for warehousing, production, distribution, and sales uses (the “Proposed Development”); and

WHEREAS, the Petitioner plans to invest approximately \$2,400,000 to expand the property by an additional 14,796 square feet to bring additional cold storage space to the facility (the “Proposed Improvements”); and

WHEREAS, the Village Board supports and consents to the filing of a Class 6b Classification application by the Petitioner, with the understanding that any occupant of the Subject Property must meet the Class 6b Classification qualifications; and

WHEREAS, the Village Board has determined that the granting of a Class 6b Classification to the Petitioner, for the Subject Property, would be beneficial to the Village;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, AS FOLLOWS:

SECTION 1: ELIGIBILITY. The request of the Petitioner to have the Subject Property declared eligible for Class 6b Classification under the Ordinance is hereby granted, in that the Village Board has determined that the incentive provided by the said Class 6b Classification is necessary for the expansion of the Subject Property.

SECTION 2: CONDITIONS. The Village's support and consent to the Class 6b Classification are subject to and contingent upon the conditions, restrictions, and provisions set forth in this Section:

A. The Applicant shall obtain all necessary building and/or construction-related permits from the Village for the construction of the Proposed Improvements.

B. The Subject Property shall be operated and maintained at all times in compliance with the applicable codes and ordinances of the Village.

C. All work performed on the Proposed Development must be conducted in a good and workmanlike manner, with due dispatch, and within any deadlines provided pursuant to this Agreement or set forth in the Village Code.

D. The total construction value for permits issued for the Proposed Improvements shall be approximately \$2,400,000.00.

E. The Proposed Development shall be completed by December 30, 2026. Upon completion of the Proposed Development, the Applicant will request that the Village inspect and approve the Proposed Improvements to confirm that the Proposed Development has been constructed in compliance with the plans approved by the Village.

SECTION 3: FINDINGS. The Village Board finds that the Subject Property qualifies for purposes of the Class 6b Classification, and consents to the Subject Property being designated under the Class 6b Classification by the Cook County Assessor, with a copy of the Class 6b Classification application of the Petitioner being attached hereto as Exhibit A and made a part hereof.

SECTION 4: APPROVAL. The Village Board hereby supports, consents to, and approves the Class 6b Classification for the Subject Property pursuant to the Ordinance, said Subject Property being described as follows:

LEGAL DESCRIPTION:

LOT 2 IN HAWTHORN RESUBDNISION OF LOTS 1 AND 2 IN BLOCK 1 AND THAT PART OF LOT 6 LYING SOUTH OF THE SOUTH LINE OF SHEPA RD A VENUE EXTENDED WEST TO THE WEST LINE OF SAID LOT IN BLOCK 2, ALL IN AMERLINE SUBDNISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 42 NOR1H, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1977, AS DOCUMENT NO. 23968761, ALL IN COOK COUNTY, ILLINOIS.

PINS: 03-11-305-028-0000, 03-11-305-029-0000

COMMON ADDRESS: 199 Shepard Avenue
Wheeling, Illinois 60090

SECTION 5: FILING. The Village Clerk is hereby authorized and directed to forward a certified copy of this Resolution to the Office of the Cook County Assessor.

Trustee _____ moved, second by Trustee _____,
that Resolution No. 25- _____ be adopted.

President Horcher	_____		
Trustee Krueger	_____	Trustee Ruffatto	_____
Trustee Lang	_____	Trustee Vito	_____
Trustee Papantos	_____	Trustee Vogel	_____

ADOPTED this 3rd day of November 2025, by the President and Board of Trustees of
the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk

EXHIBIT A

CLASS 6b APPLICATION

Legal Description

LOT 2 IN HAWTHORN RESUBDIVISION OF LOTS 1 AND 2 IN BLOCK 1 AND THAT PART OF LOT 6 LYING SOUTH OF THE SOUTH LINE OF SHEPARD AVENUE EXTENDED WEST TO THE WEST LINE OF SAID LOT IN BLOCK 2, ALL IN AMERLINE SUBDIVISION OF PART OF THE EAST HALF OF THE SOUTHWEST QUARTER OF SECTION 11, TOWNSHIP 42 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT THEREOF RECORDED JUNE 14, 1977, AS DOCUMENT NO. 23968761, ALL IN COOK COUNTY, ILLINOIS.



MEMORANDUM

DATE: November 3, 2025
FROM: Leonard Becker, Economic Development Director
SUBJECT: Resolution Awarding a Restaurant, Entertainment, and Retail Build-Out Grant for SunBerry Orchard Farm Market Inc. at 548B West Dundee Road in an Amount up to \$50,000
DOLLAR AMOUNT: 50,000
BUDGETED: Yes
BUDGET SOURCE: Town Center II TIF
RECOMMENDED ACTION: Approve
STRATEGIC PLAN THEME: Economic Development

EXECUTIVE SUMMARY

SunBerry Orchard Farm Market Inc. has submitted an application for the Wheeling Restaurant, Entertainment, and Retail Build-Out Assistance Grant (Program B) for interior and exterior renovations associated with its occupancy of 548B West Dundee Road. The requested grant amount is \$50,000.

MEMO

Background

The 7,300-square-foot property at 548B West Dundee Road has been vacant for over 10 years; the site was previously occupied by several restaurants. Economic Development staff has actively marketed this property over the years to numerous business prospects. Given the location within the Lynn Plaza shopping center, a restaurant, retailer, or similar user was determined to be the most appropriate fit for this space. Mr. Sergiy Bazylyuk, president of SunBerry Orchard Farm Market Inc., originally contacted staff to explore leasing a 5,500-square-foot space in Lynn Plaza, and following preliminary discussions and consideration of Village assistance through the Restaurant, Entertainment, and Retail Build Out Grant Program, the applicant executed a lease in October 2024. The applicant's original intent was to open a new SunBerry Orchard Market by May 2025, but due to a change in architectural firms and concurrent efforts to acquire a manufacturing and retail site in Skokie, the project experienced delays. During this time, the applicant decided to expand the planned operations in Wheeling by securing a larger 7,300-square-foot space within Lynn Plaza.

SunBerry Orchard Market will feature a full-service butcher shop, deli, bakery, and grocery market specializing in ethical and sustainable farming. The business aims to introduce Eastern European culinary traditions to modern American households. Founded in Lake Zurich in 2021, SunBerry has experienced strong growth, supported by a 30-acre farm and five-acre apple orchard in Woodstock. In 2024, the company acquired and rebranded Eurostyle Deli in downtown Skokie to SunBerry Orchard Market. The Wheeling location will serve as the company's flagship store, representing the next evolution of their farm-to-market model. The Wheeling Restaurant, Entertainment, and Retail Build-Out Assistance Grant will support the transformation of this raw retail space. To that end, the applicant will invest \$400,000 in permanent improvements, such as adding new walls, electrical improvements, HVAC, plumbing, and the buildout of refrigeration and cold storage units. SunBerry Orchard Market anticipates initially hiring eight to twelve employees, including kitchen staff, retail workers, and management. SunBerry Orchard Market has signed a five-year lease and is committed to becoming a long-term member of the Wheeling business community. The applicant has already received Village permits and is diligently working toward opening the Wheeling location by March of 2026 in time for the Easter holiday, a busy time for the business.

This property is within the Wheeling Town Center-II TIF District, making it eligible for the Restaurant, Entertainment, and Retail Build-Out Grant, Program B (applicable to Food & Beverage, Retail, and Shopping Centers). As the applicant generates food and beverage tax, it qualifies for this program, which allows up to \$50,000 in assistance for eligible expenses or 50% of materials and 25% of labor, whichever is less. The proposed investment significantly exceeds the 50% match for materials, as the project will exceed \$400,000 (with the contractor alone totaling \$281,343). As a result, the requirements stipulated in Program B make \$50,000 eligible for reimbursement toward this investment of over \$400,000.

Recommendation

Economic Development staff has reviewed the application and recommends approval of the grant application request in an amount of up to \$50,000.

RESOLUTION NO. 25-_____

RESOLUTION AWARDING A RESTAURANT, ENTERTAINMENT, AND RETAIL BUILD-OUT GRANT FOR SUNBERRY ORCHARD FARM MARKET INC. AT 548B W. DUNDEE ROAD IN AN AMOUNT UP TO \$50,000

WHEREAS, the applicant, Mr. Sergiy Bazylyuk of SunBerry Orchard Farm Market Inc., d/b/a SunBerry Orchard Market, located at 548B W. Dundee Road, has applied for a Wheeling Restaurant Entertainment and Retail Build-Out Assistance Grant Program B, that would assist with the renovation and installation of interior improvements, a copy of said application being attached hereto as **Exhibit A**; and

WHEREAS, the Economic Development Department Director has reviewed the grant application and recommends that the Village Board approve an award of up to \$50,000.00 for the proposed project based on the Wheeling Restaurant, Entertainment & Retail Build-Out Grant Program B formula of eligible costs, a breakdown of SunBerry Orchard Farm Market Inc.'s eligible costs being attached hereto as **Exhibit B**; and

WHEREAS, the President and Board of Trustees have reviewed the recommendation of the Economic Development Department regarding the application for the Wheeling Restaurant, Entertainment & Retail Build-Out Grant from SunBerry Orchard Farm Market Inc.;

NOW, THEREFORE, BE IT RESOLVED BY THE PRESIDENT AND BOARD OF TRUSTEES OF THE VILLAGE OF WHEELING, COUNTIES OF COOK AND LAKE, STATE OF ILLINOIS, that the Village Board hereby finds SunBerry Orchard Farm Market Inc. d/b/a SunBerry Orchard Market eligible for the Wheeling Restaurant, Entertainment & Retail Build-Out Grant Program B and awards up to Fifty thousand dollars and no cents (\$50,000.00) to Sergiy Bazylyuk, President of SunBerry Orchard Farm Market Inc., d/b/a SunBerry Orchard Market, located at 548 B W. Dundee Road, Wheeling, Illinois, for the purpose of renovating an existing commercial property through the purchase and installation of interior improvements, in accordance with the Wheeling Restaurant, Entertainment & Retail Build-Out Grant Application attached hereto as **Exhibit A**, and subject to the condition that the grant award is subject to the terms of the Wheeling Retail, Entertainment & Restaurant Build-Out Grant program, last amended by Resolution 2024-058.

Trustee _____ moved, seconded by Trustee _____
that Resolution No. 25-_____ be passed.

President Horcher	_____	Trustee Ruffatto	_____
Trustee Krueger	_____	Trustee Vito	_____
Trustee Lang	_____	Trustee Vogel	_____
Trustee Papantos	_____		

ADOPTED this 3rd day of November, 2025, by the President and Board of Trustees of the Village of Wheeling, Illinois.

Patrick Horcher, Village President

ATTEST:

Karen Henneberry, Deputy Village Clerk

Exhibit A

SunBerry Orchard Farm Market Inc., d/b/a SunBerry Orchard Market
Restaurant, Entertainment & Retail Build-Out Grant Application

Exhibit B

Construction Budget and Costs



**Wheeling Restaurant, Entertainment, and
Retail Build-Out Grant Program**

Program A - Sit-down Restaurant Grant

**Program B - Food and Beverage, Retail, and
Shopping Center Grant**

**Program C - Anchor Restaurant,
Entertainment Venue and Retail Grant**



Program A – Sit-Down Restaurant Grant

This portion of the grant application only applies to applicants who are existing or new sit-down restaurants that meet the definition found on page 3. All other applicants should consider Program B or C.

Introduction

The Village of Wheeling understands that there are costs incurred when constructing and opening a new restaurant or to assist with remodeling existing sit-down restaurants. To assist with such projects, **the Village awards reimbursable grants to sit-down restaurants located in existing buildings on properties within the Town Center II TIF District and the North Milwaukee Avenue TIF District boundaries**, providing reimbursement on approved costs. Specifically, this grant can reimburse up to 50% of eligible materials and fixtures and up to 25% of labor costs associated with eligible improvements. More details are provided below.

The maximum award amount for *Program A* \$150,000 for a new or existing sit-down restaurant operator to remodel an existing commercial space. For other eligible types of businesses covered, see *Program B* and *Program C*. The Village strongly encourages applicants to utilize the grant funding toward upgrading façade elevations, add outdoor seating and to help improve the overall aesthetics and functionality of restaurant buildings within the Village.

To receive the maximum \$150,000 reimbursement grant, the applicant must spend at least \$300,000 in eligible costs for the sit-down restaurant. (Please see the Grant Policies and Procedures sections below for specific definitions and conditions. The Village’s Economic Development Director (Grant administrator) shall review and make a recommendation regarding project awards. All grant applicants recommended for approval by the grant administrator will be forwarded for consideration and approval by the Village Board before the grant is awarded. Additionally, any applicant who is leasing a space shall come to the Village Board with their respective landlord or another property decision maker when presenting the grant at the assigned Village Board Meeting.

Program A Qualifications

The applicant must be a new or have an existing sit-down restaurant within the Town Center II or the North Milwaukee Avenue TIF Districts. (See Exhibit 1 - the attached map for the boundaries of these two TIF Districts) The sit-down restaurant space shall be at least 4,000 s.f. of Gross Leasable Space (GLA) in size and have at least 100 seats inside (not including any outdoor spaces or seating).. The applicant cannot relocate an existing business within 10 miles of the subject address to use this program per Illinois TIF laws. If the restaurant is or will be over 6,000 s.f. of GLA and over 125 seats (not inclusive of outdoor dining) then the applicant should consider and review the qualifications for *Program C*.

Eligible Improvements for Reimbursement

Please note that new ground up construction is not eligible for reimbursement per Illinois TIF Law. The chart below lists items that are eligible for reimbursement for *Program A*:

Eligible Items for <i>Program A</i>
Permanent kitchen infrastructure (no removable kitchen equipment will be eligible)
Permanent fixtures related to bar and prep spaces
Permanent walk-in cooler
Permanent seating fixtures (such as booths and tables mounted to the floor)
Permanent interior plumbing
Permanent interior electrical
Permanent interior HVAC equipment
Fire suppression systems
Permanent flooring materials
Bathrooms including ADA compliance modifications
Grease-traps
Exterior façade elements, including signage, awnings, and street-facing elevation materials (which are building elevations parallel to a public or private roadway). Roofing materials and roof-mounted equipment is not eligible. –
Permanent improvements to outside seating areas including concrete patios designated for outside seating, railings/fencing surrounding outside seating areas, and permanent outside seating fixtures
New parking lot lighting, permanent landscaping bed improvements, and new parking lot installation
Any other interior building improvement that is deemed permanent by the grant administrator

Grant Policies

Eligible spaces that may receive the grant under *Program A*:

- Sit Down Restaurants shall only receive one grant award over the life of the program. No exceptions shall be granted. For the purpose of this grant program, a sit-down restaurant shall be defined as a for-profit establishment that serves food and beverage items to customers, the subject space must be at least 4,000 square feet (GLA) in size and contain at least 100 seats inside (not including any outdoor spaces) for dining patrons. Additionally, the subject space must be in an existing building within the two TIF Districts. All other food-and-beverage-based businesses that do not meet this definition may be eligible for consideration under *Program B*.
- Applicants must spend at least \$10,000 in eligible costs to participate in this grant program. The minimum grant awarded through this program will be \$5,000.
- The Village of Wheeling will only reimburse for the materials and permanent fixtures associated with the eligible improvements. Additionally, 25% of the labor associated with the eligible improvements can be reimbursed through this grant program.
- This grant program cannot be used to address municipal code violations for existing businesses or properties. However, the funds from this grant program can be utilized to voluntarily modernize a building/property and bring an existing business/property up to modern building standards. If a property owner applies for this grant program and there are open local municipal code violations (“Code Violations”) either at time of applying for a grant or prior to releasing payment for a grant, and the Village has provided

written notice to the property owner of said Code Violations, then the Village reserves the right to hold off on reviewing the grant application or withholding payment of a previously approved grant until all municipal code violations have been addressed to the satisfaction of the Village.

- As part of the grant submittals, the applicant shall provide evidence of the following:
 - o The eligible business owner must have either a signed or contingent lease for a minimum of a five-year period or owns the subject property. (Proof of a lease or property ownership is required.
 - o If applying for any grant amount above \$100,000, then the applicant shall provide proof that he/she has owned and operated at least one sit-down restaurant for a minimum period of five years. The proof shall be in a form approved by the grant administrator and include copies of previous business licenses, a copy of a lease, or copies of business incorporation documents that include the applicant's name.
 - o The applicant must also provide a written statement in the Project Narrative that a decision maker for the proposed business location will be stationed at the subject address on a full-time basis (40+ Hours per week). (See Step 2 under the Grant Application Steps and Submittal Requirements for more details). The professional background of the decision maker shall be provided in the business plan. (Details are also found in the Grant Application Submittal Requirements and Procedures section).
- Applicants who have been approved by the Village Board shall complete the entire build-out and open the business within 12 months of the date of the Village Board resolution approving the grant
- All grant awards are subject to available funding. The Village Board reserves the right to discontinue this program at any time for any reason.
- Grant approval by the Village Board does not constitute approval to start work. All work must receive all applicable permits and any other approvals. Any work done without proper approvals by the Village, or any other applicable entity may result in the termination of any approved grant.
- The Economic Development Director reserves the right and option to not approve or recommend a grant request to the Village Board after vetting each applicant and application. The Economic Development Director also reserves the right and option to amend the requested grant amount based on the review of the application, anticipation of grant applications, and available funding.
- Note that any work conducted by the applicant is **not** eligible for reimbursement. The installation of the eligible permanent improvements must be performed by hired professionals who are not related to the applicant or the building owner, either through familial relationships or from any other business partnership.
- This grant will not cover any expenses incurred prior to applying for and receiving a letter or resolution approving the grant request.
- No reimbursement will be issued until all steps have been satisfied by the applicant (see below).

Grant Application Steps & Submittal Requirements

Any applicant interested in applying for the Grant Program **must** complete all steps listed below:

Step 1 – Pre-Application Meeting

Any prospective applicant must meet with the Economic Development Director to go over the application, the process, and general items. Prospective applicants must also thoroughly read all portions of the grant application to ensure that all conditions will be satisfied. The applicant is strongly encouraged to bring the project architect and/or general contractor to the pre-application meeting, since the application submittals require base drawings for the proposed improvements and a contractor quote for the estimated project costs. No application will be accepted until a pre-application meeting with the Economic Development Director has taken place. The Economic Development Director reserves the right to include staff members from other departments to help address zoning and permitting processes during this meeting.

Step 2 – Submit the Application

Submit your fully completed application to the Economic Development Director (second floor of Wheeling Village Hall).

A fully completed application shall include the following items:

- Application form filled out (attached)
- Project Narrative describing the business, the concept, and the proposed scope of work. A copy of a signed lease shall be provided. The name and entity on the lease shall match the name on the application page.
 - If the applicant owns the subject property as well as the subject business, then a copy of a deed or title showing proof that the applicant is the building owner and business owner shall be provided.
- Detailed floor plans showing the proposed scope of work to build out the proposed business.
- A detailed cost estimate broken down to separately show the permanent interior and exterior improvements, which must match the scope of work shown in the submitted floor plans. The cost estimate must come from a general contractor not related to the business applicant or the property owner (either through familial relationships or from any other joint-venture partnership). The cost estimate should separate out the cost of labor, as this grant will only reimburse 25% of labor associated with eligible installation.
- A detailed business plan that must include the following:
 - An executive summary
 - Background on the business concept and offerings
 - Background on the key decision-makers who will be based at the prospective business location. (This should include their years in the industry, any certifications or licenses that they hold, and any specialized training received in their career)
 - An organizational chart
 - Marketing strategy and marketing plan details
 - A detailed list of the offerings based out of the proposed business (provide a menu and/or a list of products sold)
 - Projected sales, profits, and losses for a minimum of five years
- A consent form to conduct a background check on the applicant and have the Economic Development Director review financial information related to the proposed project (attached).
- Proof of owning or operating a restaurant for at least five years.

The Village highly recommends that the applicant apply for any special approvals and/or building permits immediately after submitting the application to assist with the entitlement and permit review timeline. The decision for this grant application may be withheld if an Appearance Review Application is required for exterior changes. A decision on the grant application will occur once an Appearance Review Application is approved by Village Board and may be done so simultaneously.

Step 3 – Staff Review and Formal Approval

The Economic Development Director will review the application for completion, and may request additional

documentation. During this step, the Village will conduct a background check on the applicant(s) and review all requested financial information. The review of the financial information can occur in person with the applicant. After all submitted items have been reviewed and determined to be satisfactory, in the discretion of the Economic Development Director, the Director will provide an approval letter and date when the grant request will be reviewed by the Village Board. If the Village Board approves the request, the Board will pass a resolution to that effect which will be provided with the approval letter.

Step 4 – Build Out the Space, Open to the Public, and Submit for Reimbursement

After the applicant receives the approval letter from the Economic Development Director and the Village Board resolution approving the grant request, the applicant has 12 months from the date of the approval letter/resolution to complete the following:

- Complete the construction buildout.
- Close out all permits by passing all final inspections.
- Finish paying all vendors and contractors.
- Obtain a Certificate of Occupancy and open to the public.

Once Step 4 has been completed, the applicant can submit the documentation for reimbursement to the Economic Development Director. The documentation needed for consideration of the reimbursement includes:

- All receipts and paid-in-full invoices covering eligible expenses (copy or original)
- A notarized Final Waiver(s) of Lien (completed by contractor and all subcontractors)
- A completed IRS W-9 form
- An executed reimbursement agreement
- Setting up new vendor process with the Village’s Finance Department

Prior to submitting the reimbursement request, the Economic Development Director will review all submitted documentation and confirm that all permits have been closed out, that no litigation is pending or active, and that no liens are recorded against the property. Note, if the final expenditures come in under the initial cost estimates provided for the grant application, then the reimbursement amount issued under the grant will be less than the amount that was approved by the Village Board. If all reimbursement documentation is in order, the reimbursement request will be included on the next Village Board warrant register.

Allowed Exceptions to Program A

If the applicant finds that the project cannot be completed within 12-months, then the applicant can request an exception to this timeframe to extend it for an additional six months. This request shall be submitted in writing and presented to the Village Board for consideration and approval no later than the first day of the 12th month following the date of the resolution or letter approving the grant. The applicant may request additional funding up to the maximum funding of \$150,000 allowed under *Program A* if special circumstances exist. For consideration under special circumstances, the applicant will need to provide written documentation detailing the compelling reason for the request and provide justification that “but for” the additional funding, the project would not be feasible to move forward. If the Economic Development Director determines and recommends additional funding is necessary, then that financial consideration will be up to the Board for final approval. Under no circumstances may the applicant receive any additional funding once a resolution or grant approval has been given by the Board. All other

policies identified in *Program A* cannot be waived or amended. If there is uncertainty with the application, then the Economic Development Director will review the inquiry and report suggested edits, additions, or omissions to the Village Board for consideration and approval. Any edits approved by the Village Board will be promptly made to the Application.



Program B –Wheeling Food and Beverage, Retail and Shopping Center Grant

This portion of the grant application only applies to applicants who are new or existing restaurants not applicable to Program A, as well as new and existing retailers, tenants, and shopping center owners.

Introduction

The Village of Wheeling understands that costs are incurred when constructing and opening a new restaurant or retail space or when updating a shopping center. To assist with such projects, the **Village awards grants for those properties and businesses located within the Town Center II and North Milwaukee Avenue TIF District boundaries.** Program B can reimburse up to 50% of eligible materials and fixtures, and up to 25% of labor costs associated with the improvements. The maximum award amount for Program B is \$50,000. To receive the maximum \$50,000 reimbursement, the applicant must spend at least \$100,000 in eligible costs. Please see the Grant Policies and Procedures sections below for specific definitions and conditions.

The Village’s Economic Development Director (Grant Administrator) shall review and make recommendations regarding project awards. All grant applicants recommended for approval by the Grant Administrator will be forwarded for consideration and approval by the Village Board for grant approval. Additionally, any applicant who is leasing a space shall come to the Village Board with their respective landlord or another property decision maker when presenting the grant at the assigned Village Board Meeting.

Program B Qualifications

The applicant must propose a new or have an existing food, beverage, or retail business, or be an existing commercial shopping center within the Town Center II or North Milwaukee Avenue TIF Districts. (See Exhibit 1 – the attached map for the boundaries of these two TIF Districts). The applicant cannot be relocating an existing business within 10 miles of the subject address to use this program per Illinois TIF laws.

Eligible Improvements for Reimbursement

Please note that new ground up construction is not eligible for reimbursement per Illinois TIF Law. The chart below lists items that are eligible for reimbursement under Program B:

Eligible Items Under <i>Program B</i>
Permanent kitchen infrastructure (no removable kitchen equipment will be eligible)
Permanent fixtures related to bar and prep spaces
Permanent walk-in cooler
Permanent seating fixtures (such as booths and tables mounted to the floor)
Permanent interior plumbing
Permanent interior electrical
Permanent interior HVAC equipment
Fire suppression and alarm systems
Bathrooms including ADA compliance modifications
Permanent flooring
Permanent store fixtures such as countertops, retail shelving and changing rooms
Grease trap improvements
Exterior façade elements, including signage, awnings, and street-facing elevation materials (which are building elevations that are parallel to a public or private roadway). Roofing materials and roof-mounted equipment is not eligible.
Permanent improvements to outside seating areas including concrete patios designated for outside seating, railings/fencing surrounding outside seating areas and permanent outside seating fixtures
New parking lot lighting, permanent landscaping bed improvements and new parking lot installation
Any other interior building improvement that is deemed permanent by the grant administrator

Grant Policies

Eligible projects that may receive the Grant under *Program B*:

- Shopping centers may only apply for one grant award for the life of the program. No exceptions shall be granted. For this grant program, a shopping center shall be defined as “a building or buildings under common ownership that contains at least two commercial spaces and that includes at least one retail or restaurant operation as a tenant.” The maximum grant amount for a shopping center is \$50,000.
- Retail businesses that apply for this grant program shall have at least 50% of the entire floor area dedicated to the sale of goods at the subject address, be open to the public, and must also fall under the Wheeling zoning ordinance as permitted or special use for retail. Any applicant that cannot meet the 50% retail floor area requirement will **not** be eligible for the grant.
- For this grant, any food and beverage business that does not meet the definition of a sit-down restaurant as identified under *Program A* or *Program C* shall be defined as a non-sit-down restaurant, and the maximum reimbursement allowed from this grant is \$50,000. Any applicant applying for this grant as a food and beverage use must be open to the public including pickup or delivery options (e.g. catering only businesses will not qualify).
- In instances when a property owner applies for a grant to improve a shopping center, the eligible individual tenants may also submit their own respective grant requests subject to the policies and procedures defined in this document.
- Applicants must invest at least \$10,000 in eligible costs to participate in this grant program. The minimum

grant awarded through this program is \$5,000.

- The Village of Wheeling will only reimburse for up to 50% of the cost of materials and permanent fixtures associated with the eligible improvements. Additionally, 25% of the labor associated with the eligible improvements can be reimbursed through this grant program.
- This grant program cannot be used to address municipal code violations for existing businesses or properties. However, the funds from this grant program can be utilized to voluntarily modernize a building/property and bring an existing business/property up to modern building standards. If a property owner applies for this grant program and there are open local municipal code violations (“Code Violations”) either at time of applying for a grant or prior to releasing payment for a grant, and the Village has provided written notice to the property owner of said Code Violations, then the Village reserves the right to hold off on reviewing the grant application or withholding payment of a previously approved grant until all municipal code violations have been addressed to the satisfaction of the Village.
- As part of the grant submittals, the applicant shall provide evidence of the following:
 - o The eligible business owner must have either signed a contingent lease for a minimum of a five-year period or own the subject property. (Proof of a lease or property ownership is required).
- Applicants who have been approved by the Village Board shall complete the entire build-out and open the business within 12 months of the date of the Village Board resolution approving the grant.
- All grant awards are subject to available funding. The Village Board reserves the right to discontinue this program at any time for any reason.
- Grant approval by the Village Board does not constitute approval to start work. All work must receive all applicable permits and any other approvals. Any work being done without proper approvals by the Village, or any other applicable entity may result in the termination of any approved grant.
- The Economic Development Director reserves the right and option to not approve or recommend a grant request to the Village Board after vetting each applicant and application. The Economic Development Director also reserves the right and option to amend the requested grant amount based on review of the application, anticipation of grant applications, and available funding.
- Note that any work conducted by the applicant is **not** eligible for reimbursement. The installation of the eligible permanent improvements must be performed by hired professionals who are not related to the applicant or the building owner, either through familial relationships or from any other business partnership.
- This grant will not cover any expenses incurred prior to applying for and receiving an approval letter or resolution approving the grant request.
- No reimbursement will be issued until all steps have been satisfied by the applicant (see below).

Grant Application Steps & Submittal Requirements

Any applicant that is interested in applying for the Grant Program must complete all steps listed below:

Step 1 – Pre-Application Meeting

Any prospective applicant must meet with the Economic Development Director to go over the application, the process, and general items. Prospective applicants must also thoroughly read all portions of the grant application to ensure that all conditions will be satisfied. The applicant is strongly encouraged to bring the project architect and/or general contractor to the pre-application meeting, since the application submittals require base drawings for the proposed improvements and a contractor quote for the estimated project costs. No application will be accepted until a pre-application meeting with the Economic Development Director has taken place. The Economic Development Director reserves the right to include staff members from other departments to help address zoning and permitting processes during this meeting.

Step 2 – Submit the Application

Submit your fully completed application to the Economic Development Director (second floor of Wheeling Village Hall).

A fully completed application shall include the following items:

- Application form filled out (attached)
- Project Narrative describing the business, the concept, and the proposed scope of work.
- A copy of a signed lease shall be provided. The name and entity on the lease shall match the name on the application page.
 - If the applicant owns the subject property as well as the subject business, then a copy of a deed or title showing proof that the applicant is the building owner and business owner shall be provided.
- Detailed floor plans showing the proposed scope of work to build out the proposed business.
- A detailed cost estimate broken down to separately show the permanent interior and exterior improvements which must match the scope of work shown in the submitted floor plans. The cost estimate must come from a general contractor not related to the business applicant or the property owner (either through familial relationships or from any other joint-venture partnership). The cost estimate should separate out the cost of labor, as this grant will only reimburse 25% of labor associated with eligible installation.
- A detailed business plan that must include the following:
 - An executive summary
 - Background on the business concept and offerings
 - Background on the key decision-makers who will be based at the prospective business location. (This should include their years in the industry, any certifications, or licenses that they hold, and any specialized training received in their career).
 - An organizational chart
 - Marketing strategy and marketing plan details
 - A detailed list of the offerings based out of the proposed business (provide a menu and/or a list of products sold)
 - Projected sales, profits, and losses for a minimum of five years
- A consent form to conduct a background check on the applicant and have the Economic Development Director review financial information related to the proposed project (attached).
- Proof of owning or operating a restaurant for at least five years.

The Village highly recommends that the applicant apply for any special approvals and/or building permits immediately after submitting the application to assist with the entitlement and permit review timeline. The decision for this grant application may be withheld if an Appearance Review Application is required for exterior changes. A decision on the grant application will occur once an Appearance Review Application is approved by Village Board and may be done so simultaneously.

Step 3 – Staff Review and Formal Approval

The Economic Development Director will review the application for completion and may request additional documentation. During this step, the Village may conduct a background check on the applicant(s) and review all requested financial information. The review of the financial information can occur in person with the applicant. After the submitted items have been reviewed and determined to be satisfactory in the discretion of the Economic Development Director, the Director will provide an approval letter and date when the grant request will be reviewed by the Village Board. If the Village Board approves the request, the Board will pass a resolution to that effect which will be provided with the approval letter.

Step 4 – Build Out the Space, Open to the Public and Submit for Reimbursement

After the applicant receives the approval letter from the Economic Development Director and the Village Board resolution approving the grant request, the applicant has 12 months from the date of the approval letter/resolution to complete the following:

- Complete the construction buildout.
- Close out all permits by passing all final inspections.
- Finish paying all vendors and contractors.
- Obtain a Certificate of Occupancy and open to the public.

Once Step 4 has been completed, the applicant can submit the documentation for reimbursement to the Economic Development Director. The documentation needed for consideration of the reimbursement includes:

- All receipts and paid-in-full invoices covering eligible expenses (copy or original)
- A notarized Final Waiver(s) of Lien (completed by contractor and all subcontractors)
- A completed IRS W-9 form.
- An executed reimbursement agreement
- Setting up new vendor process with the Village’s Finance Department

Prior to submitting the reimbursement request, the Economic Development Director will review all submitted documentation and confirm that all permits have been closed out, that no litigation is pending or active, and that no liens are recorded against the property. Note, if the final expenditures come in under the initial cost estimates provided for the grant application, then the reimbursement amount issued under the grant will be less than the amount that was approved by the Village Board. If all reimbursement documentation is in order, the reimbursement request will be included on the next Village Board warrant register.

Allowed Exceptions to Program B

If the applicant finds that the project cannot be completed within the 12 months, then the applicant can request an exception to extend it for an additional six months. This request shall be submitted in writing and presented to the Village Board for consideration and approval no later than the first day of the 12th month following the date of the resolution or letter approving the grant. The applicant may request additional funding up to the maximum allowed under *Program B* under special circumstances. For consideration under special circumstances, the applicant will need to provide written documentation detailing the compelling reason for the request and provide justification that “but for” the additional funding, the project would not be feasible to move forward. If the Economic Development Director determines and recommends additional funding is necessary, that financial consideration will be up to the Board for final approval. Under no circumstances may the applicant receive any additional funding once a resolution or grant approval has been given by the Board. All other policies identified in Program A cannot be waived or amended. If there is uncertainty with the application, then the Economic Development Director will review the inquiry and report suggested edits, additions, or omissions to the Village Board for consideration and approval. Any edits approved by the Village Board will be promptly made to the Application.



Program C – Anchor Restaurant, Entertainment Venue, and Retail Grant

This portion of the grant application only applies to applicants who are existing or new Anchor Restaurants, Entertainment Venues and Retailer businesses as defined below. All other applicants shall consider Program A or Program B as applicable.

Introduction

The Village of Wheeling understands that there are costs incurred when constructing and opening new or renovating existing anchor restaurants, entertainment complexes, or retail establishments. To assist with such projects, ***the Village awards reimbursable grants to these establishments located or planning to locate in existing buildings or properties within the Town Center II TIF District and the North Milwaukee Avenue TIF District boundaries,*** providing reimbursement on approved costs. Specifically, this grant can reimburse up to 50% of eligible materials and fixtures and up to 25% of labor costs associated with eligible improvements. More details are provided below.

The maximum award amount under *Program C* is \$225,000. The Village strongly encourages applicants to utilize the grant funding toward upgrading the façade elevations, add or improve gathering spaces, projects that help increase sales and attendance by improving the aesthetics and functionality of these properties within the Village.

To receive the maximum \$225,000 reimbursement grant, the applicant must spend at least \$450,000 in eligible costs. (Please see the Grant Policies and Procedures sections below for specific definitions and conditions). The Village's Economic Development Director (Grant Administrator) shall review and make the recommendations regarding project awards. All grant applicants recommended for approval by the Grant Administrator will be forwarded for consideration and approval by the Village Board before the grant is awarded. Additionally, any applicant who is leasing a space shall come to the Village Board with their respective landlord or another property decision maker when presenting the grant at the assigned Village Board Meeting.

Program C Qualifications

The applicant must be a new or existing Anchor Restaurant, Entertainment Complex, or Retailer within the Town Center II or the North Milwaukee Avenue TIF Districts. (See Exhibit 1 - the attached map for the boundaries of these two TIF Districts). The applicant cannot relocate an existing business within 10 miles of the subject address to use this program per Illinois TIF laws.

To qualify under *Program C*, the following parameters must be met and defined by the following uses:

Anchor Restaurants: Existing or new sit-down, full-service establishments at least 6,000 s.f. of gross leasable area (GLA) with a minimum of 150 seats (including restaurant, bar, and entertainment spaces). Anchor restaurants must include a full-service bar area (with applicable liquor license) and may include gaming machines (with applicable approvals) as well as entertainment and event spaces. The Economic Development

Director will give initial non-binding guidance and clarification to the applicant prior to formal application submittal. Outdoor spaces are encouraged, but not calculated per the GLA. A capital investment of at least \$450,000 is required. These Venues must be open to the public.

Entertainment Venues: Existing or new buildings that encompass at least 15,000 s.f. of GLA and have the minimum capacity to host at least 200 guests. These venues must include a restaurant (full-service or limited service) as well as a full-service bar, which combined occupy at least 15% of the GLA. Entertainment Venues may include gaming machines (with applicable approvals). In addition to providing food and bar service, Entertainment Venues can include any combination of the following uses (must be subject to all state and local Amusement Tax as well as applicable to sales / food or beverage taxes): movie theatres; experiential activities (e.g. axe throwing, e-sports, virtual reality / golf, escape rooms, thematic activations, bowling, shuffleboard, pickleball, tennis, etc.). The Economic Development Director will give initial non-binding guidance and clarification to the applicant prior to formal application submittal. Outdoor spaces are encouraged, but not calculated per the GLA. A capital investment of at least \$450,000 is required. These Venues must be open to the public.

Anchor Retail: Existing or new buildings that encompass at least 20,000 s.f. of GLA for the sale of tangible goods that are subject to all State and local sales taxes. The sale of these goods must occupy 85% of the GLA. The Economic Development Director will give initial non-binding guidance and clarification to the applicant prior to formal application submittal. Outdoor spaces are encouraged, but not calculated per the GLA. A capital investment of at least \$450,000 is required. These Venues must be open to the public.

Eligible Improvements for Reimbursement

The chart below lists items that are eligible for reimbursement for this specific program (*Program C*):

Eligible Items for <i>Program C</i>
Permanent kitchen infrastructure (no removable kitchen equipment will be eligible)
Permanent fixtures related to bar and prep spaces
Permanent walk-in cooler
Permanent seating fixtures (such as booths and tables mounted to the floor)
Permanent interior plumbing
Permanent interior electrical
Permanent interior HVAC equipment
Fire suppression systems
Permanent flooring materials
Bathrooms including ADA compliance modifications
Grease-traps
Exterior façade elements, including signage, awnings, and street-facing elevation materials (which are building elevations that are parallel to a public or private roadway).
Permanent improvements to outside seating areas including concrete patios designated for outside seating, railings/fencing surrounding outside seating areas, and permanent outside seating fixtures
New parking lot lighting, permanent landscaping bed improvements, and new parking lot installation
Any other interior building improvement that is deemed permanent by the grant administrator

Grant Policies

- Eligible recipients of the Grant shall only receive one award over the life of the program. No exceptions shall be granted.
- Applicants must spend at least \$450,000 in eligible costs to participate in this grant program.
- The Village of Wheeling will only reimburse for up to 50% of the materials and permanent fixtures associated with the eligible improvements. Additionally, 25% of the labor associated with the eligible improvements can be reimbursed through this grant.
- This grant program cannot be used to address municipal code violations for existing businesses or properties. However, the funds from this grant program can be utilized to voluntarily modernize a building/property and bring an existing business/property up to modern building standards. If a property owner applies for this grant program and there are open local municipal code violations (“Code Violations”) either at time of applying for a grant or prior to releasing payment for a grant, and the Village has provided written notice to the property owner of said Code Violations, then the Village reserves the right to hold off on reviewing the grant application or withholding payment of a previously approved grant until all municipal code violations have been addressed to the satisfaction of the Village.
- As part of the grant submittals, the applicant shall provide evidence of the following:
 - o The eligible business owner must have either a signed or contingent lease for a minimum of a five-year period or own the subject property. (Proof of a lease or property ownership is required).
 - o If applying for any grant under *Program C*, the applicant shall provide proof that they have owned and operated one of the approved uses for a minimum period of five years. The proof shall be in a

form approved by the grant administrator. Examples of proof include copies of previous business licenses, a copy of a lease or copies of business incorporation documents that include the applicant's name.

- The applicant must also provide a written statement in the Project Narrative that a decision maker for the proposed business location will be stationed at the subject address on a full-time basis (40+ hours per week). (See Step 2 under the Grant Application Steps and Submittal Requirements for more details). The professional background of the decision maker shall be provided in the business plan. (Details are also found in the Grant Application Submittal Requirements and Procedures section).
- Applicants who have been approved by the Village Board shall complete the entire build-out and open the business within 12 months of the date of the Village Board resolution approving the grant.
- All grant awards are subject to available funding. The Village Board reserves the right to discontinue this program at any time for any reason.
- Grant approval by the Village Board does not constitute approval to start work. All work must receive all applicable permits and any other approvals. Any work being done without proper approvals by the Village, or any other applicable entity may result in the termination of any approved grant.
- The Economic Development Director reserves the right and option to not approve or recommend a grant request to the Village Board after vetting each applicant and application. The Economic Development Director also reserves the right and option to amend the requested grant amount based on review of the application, anticipation of grant applications, and available funding.
- Note that any work conducted by the applicant is **not** eligible for reimbursement. The installation of the eligible permanent improvements must be performed by hired professionals who are not related to the applicant or the building owner, either through familial relationships or from any other business partnership.
- This grant will not cover any expenses incurred prior to applying for and receiving an approval letter or resolution approving the grant request.
- No reimbursement will be issued until all steps have been satisfied by the applicant (see below).

Grant Application Steps & Submittal Requirements

Any applicant interested in applying for the Grant Program **must** complete all steps listed below:

Step 1 – Pre-Application Meeting

Any prospective applicant must meet with the Economic Development Director to go over the application, the process, and general items. Prospective applicants must also thoroughly read all portions of the grant application to ensure that all conditions will be satisfied. The applicant is strongly encouraged to bring the project architect and/or general contractor to the pre-application meeting, since the application submittals require base drawings for the proposed improvements and a contractor quote for the estimated

project costs. No application will be accepted until a pre-application meeting with the Economic Development Director has taken place. The Economic Development Director reserves the right to include staff members from other departments to help address zoning and permitting processes during this meeting.

Step 2 – Submit the Application

Submit your fully completed application to the Economic Development Director (second floor of Wheeling Village Hall).

A fully completed application shall include the following items:

- Application form filled out (attached)
- Project Narrative describing the business, the concept, and the proposed scope of work. A copy of a signed lease shall be provided. The name and entity on the lease shall match the name on the application page.
 - If the applicant owns the subject property as well as the subject business, then a copy of a deed or title showing proof that the applicant is the building owner and business owner shall be provided.
- Detailed floor plans showing the proposed scope of work to build out the proposed business.
- A detailed cost estimate broken down to separately show the permanent interior and exterior improvements must match the scope of work shown in the submitted floor plans. The cost estimate must come from a general contractor not related to the business applicant or the property owner (either through familial relationships or from any other joint-venture partnership). The cost estimate should separate out the cost of labor as this grant will only reimburse 25% of labor associated with eligible installation.
- A detailed business plan that must include the following:
 - An executive summary
 - Background on the business concept and offerings
 - Background on the key decision-makers who will be based at the prospective business location. (This should include their years in the industry, any certifications, or licenses that they hold, and any specialized training received in their career)
 - An organizational chart
 - Marketing strategy and marketing plan details
 - A detailed list of the offerings based out of the proposed business (provide a menu and/or a list of products sold)
 - Projected sales, profits, and losses for a minimum of five years
- A consent form to conduct a background check on the applicant and have the Economic Development Director review financial information related to the proposed project (Attached).
- Proof of owning or operating a restaurant for at least five years.

The Village highly recommends that the applicant apply for any special approvals and/or building permits immediately after submitting the application to assist with the entitlement and permit review timeline. The decision for this grant application may be withheld if an Appearance Review Application is required for exterior changes. A decision on the grant application will occur once an Appearance Review Application is approved by Village Board and may be done so simultaneously.

Step 3 – Staff Review and Formal Approval

The Economic Development Director will review the application for completion and may request additional documentation. During this step, the Village will conduct a background check on the applicant(s) and review all requested financial information. The review of the financial information can occur in person with the applicant. After all submitted items have been reviewed and determined to be satisfactory in the discretion of the Economic Development Director, the Director will provide an approval letter and date when the grant request will be reviewed by the Village Board. If the Village Board approves the request, the Board will pass a resolution to that effect which will be provided with the approval letter.

Step 4 – Build Out the Space, Open to the Public, and Submit for Reimbursement

After the applicant receives the approval letter from the Economic Development Director and the Village Board resolution approving the grant request, the applicant has 12 months from the date of the approval letter/resolution to complete the following:

- Complete the construction buildout.
- Close out all permits by passing all final inspections.
- Finish paying all vendors and contractors.
- Obtain a Certificate of Occupancy and open to the public.

Once Step 4 has been completed, the applicant can submit the documentation for reimbursement to the Economic Development Director. The documentation needed for consideration of the reimbursement includes:

- All receipts and paid-in-full invoices covering eligible expenses (copy or original)
- A notarized Final Waiver(s) of Lien (completed by contractor and all subcontractors)
- A completed IRS W-9 form
- An executed reimbursement agreement
- Setting up new vendor process with the Village Finance Department

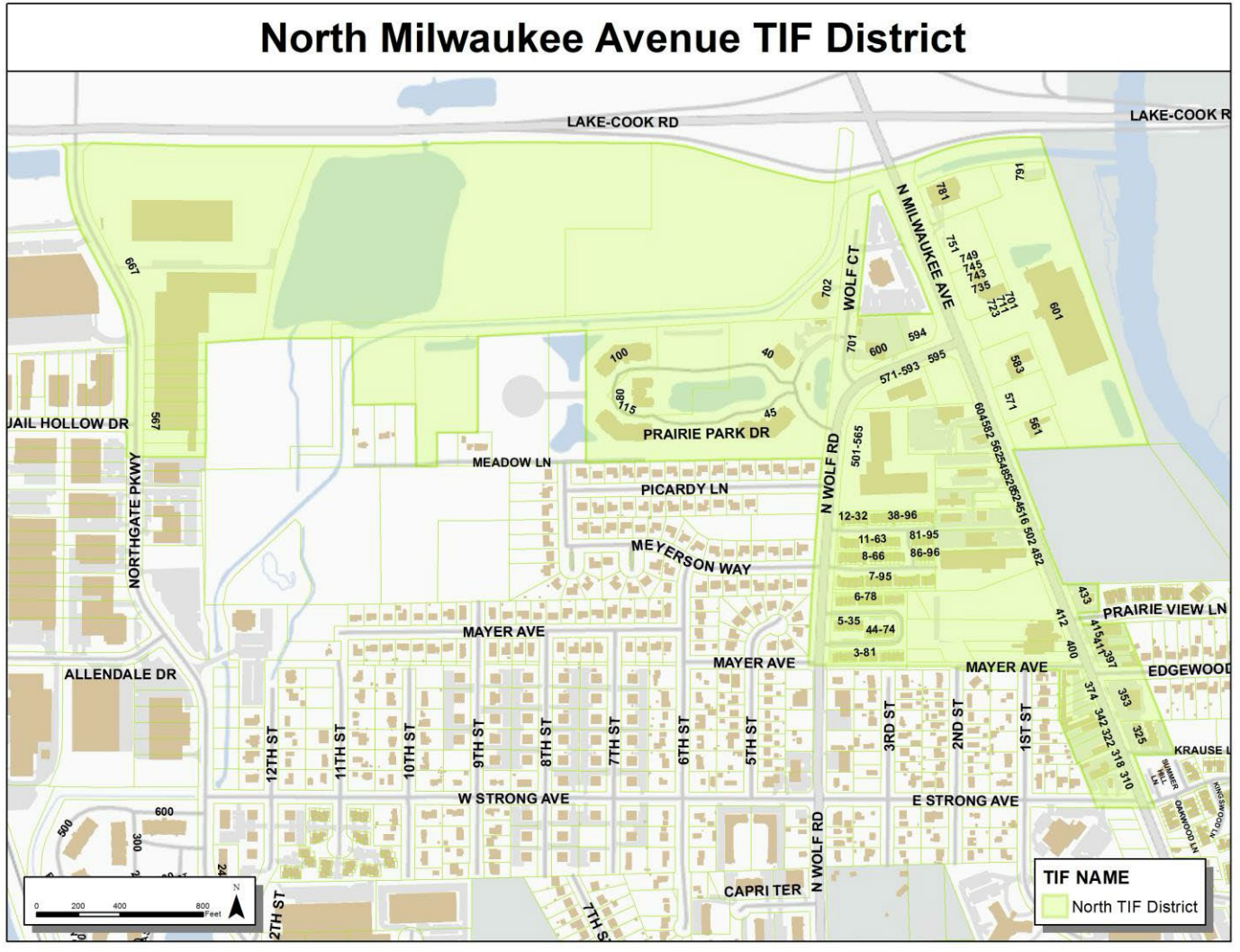
Prior to submitting the reimbursement request, the Economic Development Director will review all submitted documentation and confirm that all permits have been closed out, that no litigation is pending or active, and that no liens are recorded against the property. Note, if the final expenditures come in under the initial cost estimates provided for the grant application, then the reimbursement amount issued under the grant will be less than the amount that was approved by the Village Board. If all reimbursement documentation is in order, the reimbursement request will be included on the next Village Board warrant register.

Allowed Exceptions to Program C

If the applicant finds that the project cannot be completed within the 12 months, then the applicant can request an exception to extend it for an additional six months. This request shall be submitted in writing and presented to the Village Board for consideration and approval no later than the first day of the 12th month following the date of the resolution or letter approving the grant. The applicant may request additional funding up to the maximum allowed under *Program C*, under special circumstances. For consideration under special circumstances, the applicant will need to provide written documentation detailing the compelling reason for the request and provide justification that “but for” the additional funding, the project would not be feasible to move forward. If the Economic Development Director determines and recommends additional funding is necessary, then that financial

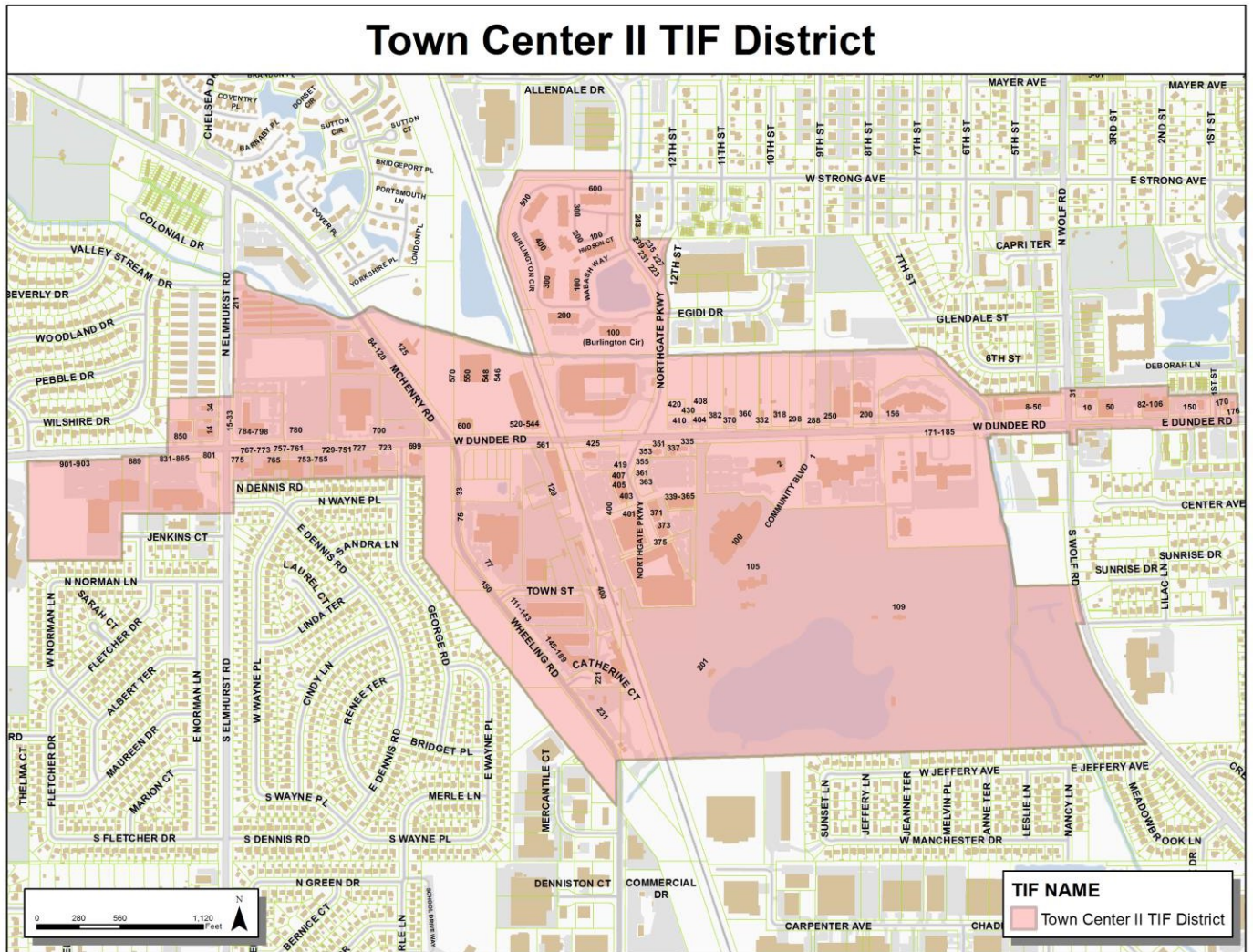
consideration will be up to the Board for final approval. Under no circumstances may the applicant receive any additional funding once a resolution or grant approval has been given by the Board. All other policies identified in *Program C* cannot be waived or amended. If there is uncertainty with the application, then the Economic Development Director will review the inquiry and report suggested edits, additions, or omissions to the Village Board for consideration and approval. Any edits approved by the Village Board will be promptly made to the Application.

Exhibit 1 - Map of North Milwaukee Avenue TIF District



[Click here to view a PDF of the TIF Districts in Wheeling, IL](#)

Exhibit 1 - Map of Town Center II TIF District



[Click here to view a PDF of the TIF Districts in Wheeling, IL](#)



Wheeling Restaurant, Entertainment, and Retail Build-Out Grant Program

APPLICATION PAGE

To determine eligibility of your project for the grant program, please provide the following information.

Name of Applicant: Sergiy Bazylyuk
Applicant Address: [Redacted]
Telephone Number: [Redacted]

Property Address for Proposed Improvements:
548 B West Dundee, Wheeling, IL
Description of Proposed Improvements (please attach narrative)

Estimated cost of improvements: 400,000
Estimated cost of qualifying labor: 200,000

Please be sure all application items are attached as identified in Step 2 for your applicable Program (A, B, or C)

Applicant Signature: [Redacted] Date: 9/25/25

(To be completed by Village)

Eligible [] Not Eligible []
Town Center II TIF [] North Milwaukee TIF []

Grant Amount: _____

By: _____ Date: _____



Wheeling Restaurant, Entertainment, and Retail Build-Out Grant Program

CONSENT AND ACKNOWLEDGEMENT FORM

I, Tetyana Baryshchuk acknowledge that the Village of Wheeling will conduct a background check as part of the evaluation of this application and consent to the same. I understand that any person who is an owner of the business submitting this grant application will be subject to a background check which will include a credit report inquiry and review of financial documents that the Economic Development Director requests. I also represent that I have *thoroughly* read all portions of the grant and I agree to all the terms, conditions, policies, and procedures to obtain the reimbursement grant. I also understand and acknowledge that the decision to grant funds lies within the sole discretion of the Village Board. I also understand and acknowledge that if the final costs come in less than what was estimated to determine the reimbursement amount, then I may receive less than the initially approved amount.

The building owner shall sign this consent form acknowledging their approval consenting to the work detailed and as part of this application.

Applicant Signature 

Date: 3.11.2025

Building Owner Signature (if applicable) Lynn Plaza LLC By

Date: 3/11/25

Building Owner Signature (if applicable) _____

Date: _____

SunBerry Orchard Market – Project Narrative

SunBerry Orchard & Pastures is a family-operated farm and retail brand focused on ethical, sustainable farming and bringing Eastern European culinary traditions to modern American households. Since launching our first location in Lake Zurich in 2021, we have grown to operate three successful locations in the Chicago suburbs, each offering high-quality pasture-raised meats, artisanal sausages, baked goods, and imported European grocery products.

Our newest location in Wheeling, located at Lynn Plaza, will become the flagship for our farm-to-market model. This location will feature a full-service butcher shop, deli, bakery, and grocery market—all centered around authentic, old-world flavors and modern food safety practices. The space will be designed to host a robust smokehouse and kitchen facility for in-house production smoked meats, and freshly baked bread and pastries.

The Storefront Build-Out Grant will support the transformation of a raw retail space (previously a buffet) into a specialty grocery store. Grant funds will be applied toward permanent improvements such as walls, ceilings, electrical work for display and cooking equipment, and buildout of refrigeration and cold storage units. This investment will allow us to open quickly, employ local staff, and serve Wheeling’s growing population with fresh, culturally relevant food options.

This project aligns directly with Wheeling’s economic development goals by revitalizing retail space, generating employment, and expanding access to healthy, locally produced food. We initially anticipate hiring 8–12 local employees for this location, including kitchen staff, retail workers, and management.

SunBerry Orchard Market is committed to becoming a long-term member of the Wheeling community. With a signed five-year lease and a proven business model, we are confident in the long-term success and community impact of this location.

Business Plan for SunBerry Orchard Market - Wheeling Location

Executive Summary

SunBerry Orchard & Pastures is an established agricultural and culinary enterprise rooted in ethical farming, sustainability, and cultural heritage. Our forthcoming Wheeling location represents a strategic expansion into a high-traffic suburban market, bringing our premium Eastern European grocery and artisanal food concept to a broader audience. This full-service farm market will offer a robust selection of fresh meats, baked goods, deli items, and imported foods—all curated to honor traditional flavors while maintaining modern quality standards. With over 20,000 combined followers on Facebook and Instagram, and three thriving locations (Lake Zurich, Skokie, and Mundelein), our retail brand has built deep customer loyalty and community engagement. The Wheeling store will serve as a cornerstone in our long-term growth strategy and stands as a prime candidate for the Wheeling Grant Program B, which will support build-out and job creation.

Business Concept and Offerings

SunBerry Orchard Market's Wheeling location will focus on delivering a unique shopping experience that merges farm-fresh goods with imported Eastern European specialties.

Key Product Segments:

- **Farm-Fresh Meats:** Prime pasture-raised beef, heritage pork (Mangalitsa, Berkshire, Red Wattle, Tamworth, GOS), pasture-raised chicken, duck, turkey, and seasonal game.
- **Smokehouse & Sausage Factory:** Over 40 types of sausages including kielbasa, kabanos, blood sausage, head cheese, and specialty Ukrainian deli cuts. Smoked pork belly, smoked duck, brisket, and ribs made in-house.
- **Artisanal Bakery:** Traditional rye, sourdough, piroshki, and European pastries made daily.
- **Deli & Grab-and-Go:** Borscht, cabbage rolls, roasted meats, soups, and hot sandwiches, all packaged for take-home convenience.
- **Imported Grocery:** A curated selection of Eastern European packaged goods including pickled vegetables, canned meats, jams, candies, juices, and grains.
- **Beverages:** Fresh pressed apple cider, imported juices, Eastern European sodas, and specialty teas.

Seasonal and Holiday Specials:

- Ukrainian-style Easter baskets
- Holiday meat trays and smoked ham for Christmas and New Year
- Pre-ordered roast goose, turkey, and special deli platters for Thanksgiving

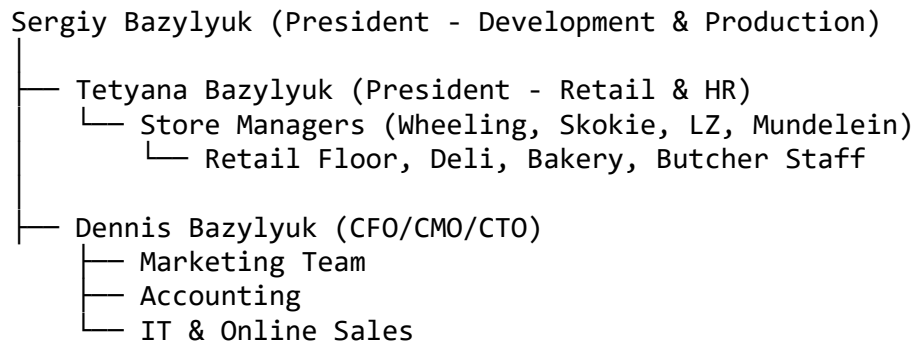
Leadership and Organizational Structure

SunBerry Orchard Market is a family-owned business led by the Bazylyuk family with decades of experience in farming, food production, and retail operations.

Key Decision Makers:

- **Sergiy Bazylyuk, President** – Oversees all development, food production, and administrative management. 20+ years in farming and agricultural business leadership.
- **Tetyana Bazylyuk, President** – Leads retail operations and employee management. Instrumental in launching and expanding the market’s customer service culture.
- **Dennis Bazylyuk, CFO/CMO/CTO** – Manages finance, marketing strategy, and technical infrastructure. Extensive experience in financial oversight and multi-location retail management.
- **Wheeling Store Manager: TBD** – Will handle day-to-day store operations and customer experience at the new location.

Organizational Chart:



Marketing Strategy

Our digital-first marketing strategy focuses on community-building and high-quality content distribution via:

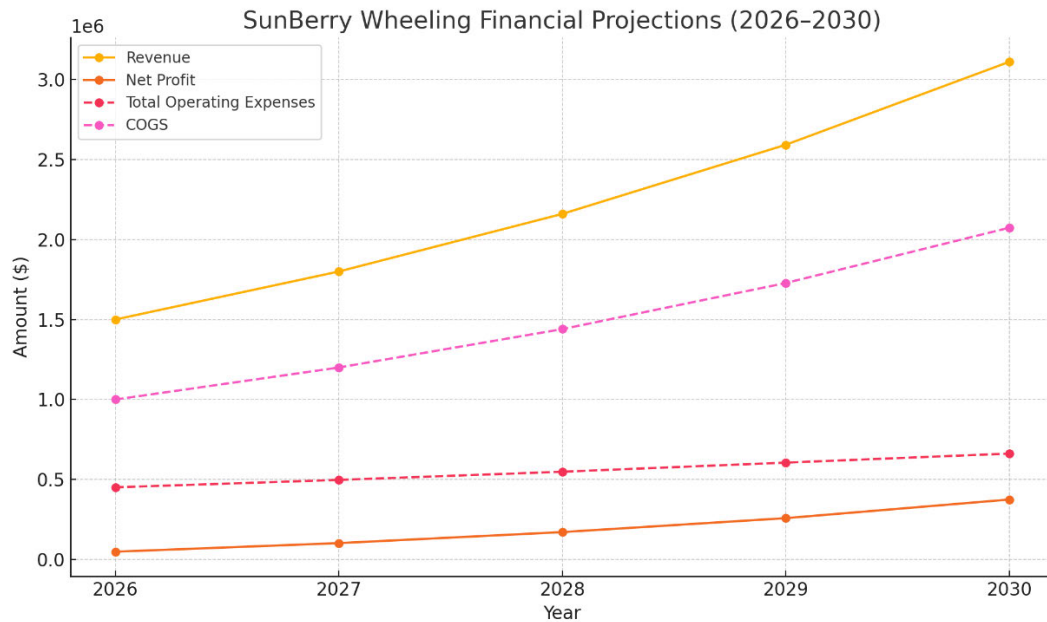
- **Social Media:** 20k+ followers across Facebook and Instagram (@SunBerryOrchard). Daily content includes product highlights, behind-the-scenes farm content, seasonal offerings, and holiday campaigns.
- **Local Advertising:** newspapers, regional radio spots, and hyperlocal print materials.
- **Email Marketing:** Bi-weekly newsletter featuring product specials, recipes, and holiday menus.
- **In-Store Promotions:** Loyalty cards, holiday bundles, and bundled deals (e.g., sausage & bread packs).

Financial Projections (2025–2029)

Projection Table

Year	Revenue	COGS (Est.)	Marketing (5%)	Employment Costs	Lease	Other OPEX (3%)	Total OPEX	Net Profit
2,026	1,500,000	1,000,000	75,000	240,000	91,250	45,000	451,250	48,750
2,027	1,800,000	1,200,000	90,000	255,000	98,530	54,000	497,530	102,470
2,028	2,160,000	1,440,000	108,000	270,000	105,850	64,800	548,650	171,350
2,029	2,592,000	1,728,000	129,600	285,000	113,150	77,760	605,510	258,490
2,030	3,110,400	2,073,600	155,520	300,000	113,150	93,312	661,982	374,818

Projection Chart



Financial Assumptions

- Launch Year: 2026 (full year of operations)
- Starting Revenue: \$1.5 million with 20% annual growth (Based on other stores sales and demand)
- Product Pricing: (gross margin ~33.3%)
- Marketing Expense: 5% of revenue annually
- Employment Cost: \$240,000 in Year One, increasing annually with store scale
- Lease: Starts at \$91,250 in 2026, increasing per lease agreement
- Other Operating Expenses: Estimated at 3% of revenue (utilities, insurance, etc.)
- Net Profit: Derived after deducting COGS and all operating expenses

PROJECT COST DETAILS - Attachment A

ULTIMATE DEVELOPMENT & CONSTRUCTION

Project: Butcher shop and Market Date: 08-17-25

PROJECT	Interior Build Outs	Est Duration			
LOCATION	548 - B W. Dundee Rd. Wheeling, IL 60060	SF	7312		
Interior Build Out					
SPECIFICATION/DETAIL	QUANTITY	UNIT	UNIT COST	EXTENSION	NOTES
Demolition				\$4,000	
Framing, Backing				\$16,800	
Insulation and Firestopping				\$4,500	Bars insulation. (spray foam will be extra)
Rough Plumbing (including concrete cutting and repairs.)				\$34,000	New Bathrooms, sinks, floor drains. (by others)
Drop Ceiling				\$42,300.00	Aluminum grids and commercial type panels.
Electrical				\$43,900	All new electric. Rough electric for the Fire alarm and low voltage. (Existing panel to remain)
HVAC				\$33,650	Rigid ducts for open ceiling. Re-work duct work. 3 Fans 150 sfn, 2 Fans 2100 sfn (A/C and Furnace units are not included.) Balancing test is not included.
Drywall and patching.				\$26,200	5/8" drywall. (repair and patch walls)
Pre hung Doors, sliding doors.				\$10,000	Commercial grade. (7" Metal hallow) Estimated Allowance
Millwork (Vinyl cove base)				\$6,000.00	Baseboard, trim, hardware, (per design package)
Flooring (preparation, repair slab)				\$45,000.00	Polish concrete with Epoxy coating. (Option for Vinyl glue down flooring)
Painting				\$31,850.00	Spray open ceiling, paint walls ceiling, trim.
Tile				\$3,000.00	Labor only (Estimated Allowance)
Wall panels for the kitchen working area.				\$6,000.00	Material and Labor
Finish Plumbing				\$4,000.00	Installation of faucets, sinks, toilets, etc.
Electrical Fixtures				\$7,000.00	LED lights, decorative lighting
Plumbing Fixtures				\$10,000.00	Estimate allowance
Low Valtage				\$5,000.00	Estimate allowance
Concrete cutting and repair.				\$6,500.00	Estimated allowance
Fire Protection / Fire alarm				\$15,995.31	
Sprincler System				\$13,500.00	
Bars, Glass, Mirrors, Accesories Budjet				\$10,000.00	Estimated Allowance ?
Cabinetry and Counter tops					Estimated Allowance
Cleaning (after construction)				2000	
Restorant Equipment (fridges, Hood, stove, etc)					Provide and install by others
Dumpster (garbage removal)				\$5,000	
Project Miscellaneous				\$10,000	
Recomended Contingency		5%		\$19,809	
Project Management		15%		\$62,400	

Total

\$478,404

Total Interior Build Out:

Venger.O Inc.

1933 N 75th court

Elmwood Park, IL 60707

(773) 946 6632

venger.o.inc@gmail.com

COMMERCIAL CONSTRUCTION AGREEMENT

This CONTRACT AGREEMENT (“Contract”) is made on, 20 , by and between Sergiy Bazylyuk and Venger O Inc

A. Contractor wishes to enter into the following Contract with the Owner to furnish labor and materials to the project located at 548 W Dundee Rd Wheeling IL pursuant to plans dated , 20_, drawings dated, 20_, and specifications dated, 20_(together with all changes and addendums. This Contract includes, by reference, all terms and conditions, and all other documents listed in this Contract and modifications issued after execution of this Contract.

B. Owner has made available to Contractor all of the Project Documents, and Contractor has agreed to be responsible for obtaining copies pertinent to its work. C. The Project Documents have been carefully examined by Contractor, his agents and representatives. Contractor agrees the Project Documents are complete and accurate as to all work to be performed by the Contractor. The contractor assumes all responsibility for any part of the Project Documents that are incomplete or inaccurate.

TERMS AND CONDITIONS RELATING TO CONTRACTOR

1. Contractor shall furnish all labor, material, skill and equipment necessary or required to perform all the work for the Project as follows:

Contractor to provide labor and materials as shown on the Project Documents as **Plan OF WORK 2**. Contractor shall pay for materials, labor and equipment used in, or in connection with the performance of this Contract when such bills or claims become due and to indemnify and hold harmless the Project and Owner from all claims and mechanic’s liens and to furnish satisfactory evidence to Owner, when and if required that the Contractor has complied with the above requirements.

3. Contractor shall begin work within three calendar days after being notified, in writing, by Owner that the Project is ready. Contractor further agrees to complete the work of this Contract Agreement within days after starting work.

4. Contractor agrees to proceed with the work in an orderly and reasonable sequence and to abide by Owner’s decision as to the allotment of all storage and working space of the Project.

5. Contractor agrees that no extension of time for performance of this Contract shall be recognized or permitted without the Owner’s written consent.

6. Contractor agrees to indemnify and hold harmless Owner, Owner’s agents and representatives, Architects, Owner’s lender and all other contractors and/or subcontractors from any and all losses or damage (including without limiting the generality of the foregoing, attorneys’ fees and disbursements paid or incurred by Owner to enforce the provisions of this paragraph) occasioned by the failure of Contractor to carry out the provisions of this Contract.

7. Contractor agrees to obtain worker’s compensation insurance as is required by law. Contractor further agrees to obtain comprehensive general liability and property damage insurance to protect the Contractor and Owner against claims for bodily injury or death or for

damage to property occurring upon, in or about the Project, with limits in amounts at least equal to those specified below:

Personal &ADV Injury \$1,000,000.00 Each Person
General Liabilities Including Automobiles \$2,000,000.00 Aggregate
Property Damage Liability \$1,000,000.00 Aggregate
Worker's Compensation As required by law

Any and all insurance shall be issued by an "A" rated insurance company or companies. Contractor agrees to furnish Owner with satisfactory evidence that he has complied with this paragraph. Contractor further agrees to obtain and furnish Owner with an undertaking by the insurance company issuing each such policy that such policy will not be canceled except after thirty (30) days written notice to Owner of its intention to do so.

Contractor agrees to assume the entire responsibility and liability for all damages or injury to any and all individuals, whether employees or otherwise and to all property, including Owner's property arising out of, resulting from, or in a manner connected with the performance of the work provided for in this Contract or occurring or resulting from the use by Contractor, his agents or employees of materials, equipment, instrumentality's or other property, whether the same is owned by Owner, Contractor or third parties, and Contractor agrees to indemnify and save harmless Owner, his agents and employees from any and all such claims, including, without Limiting the generality of the foregoing claims for which Owner may be, or may be claimed to be liable and attorneys' fees and disbursements paid or incurred to enforce the provisions of this paragraph.

All insurance required to be carried by Contractor shall name Owner and Owner's lender as additional insurers.

8. Contractor agrees to accept responsibility for all damage caused by Contractor to clean and repair all surfaces soiled or damaged by Contractor, and to protect the work performed by Contractor. If any dispute arises between Contractor and another Contractor and/or subcontractor as to which is responsible for any time of damage, the dispute shall be submitted to

Owner for decision and Owner's determination as to responsibility shall be final and binding 9. Contractor is solely responsible for initiating, maintaining and supervising all safety precautions and measures in connection with the performance of this Contract and agrees to take all safety precautions with respect to his work and shall comply with all applicable laws, ordinances, rules and regulations and lawful orders of any public or governmental authority for the safety of persons or property.

10. Contractor agrees not to assign or sublet any or all of this Contract and not to assign any money due or to become due there under without first obtaining prior written consent of Owner. Contractor further agrees to supply Owner with a list of all individuals or businesses it intends to subcontract work to or from whom it will obtain materials or equipment. Such list is attached hereto as Exhibit B and incorporated herein by reference, to which Owner hereby consents.

11. Contractor agrees to furnish such shop drawings or samples as may be required by the Owner or Architect.

12. Contractor agrees not to employ any person who would be unacceptable to Owner. Contractor further agrees to remove any such person if Owner reasonably objects to his continued employment on this project

13. Contractor agrees that Owner, or his authorized representatives, shall have the right

to order, in writing, the elimination or addition of any part of parts of work or materials as omitted from or added to this Contract by Architect and/or Owner. Fair adjustments shall be made in the contract price for such omitted or added work or materials. No extra work shall be allowed or changes made by Contractor, or paid for by Owner, unless and until authorized by Owner, in writing, before the work and/or changes are begun. Contractor agrees to sign attached Exhibit A to this Contract and waives all claims for additions or changes unless this Owner has signed a written Change Order.

Contractor further agrees to give notice to Owner of all claims for extras, for requests of extensions of time and for damages for delays or otherwise, promptly and in accordance with the General Contract. Contractor acknowledges and agrees that any change orders for extras must be consented to in writing by Owner. Further, Contractor understands that only may sign Change Orders on the Owner's behalf.

14. Contractor guarantees its work against any and all defects in material or workmanship for a period of one year from the earlier of the date of final payment or the date the Certificate of Occupancy is issued by the building authority for the project. Contractor hereby assigns all vendor warranties given by each equipment or parts manufacturer to the Owner

15. In the event Contractor fails to correct, replace and/or repair faulty or defective work performed and/or materials furnished under this Contract, or shall fail to complete or diligently proceed with its work under this Contract within the time herein provided for, Owner, upon three days notice in writing to Contractor shall have the right to correct, replace and/or re execute such faulty or defective work, or to take over the work to be provided pursuant to this Contract and complete the same either through its own employees or through a contractor or subcontractor of its choice, and to charge the costs thereof to Contractor including compensation for the Architect's services against the sums owed under this Contract or to pursue any and all other remedies provided by law.

16. Contractor agrees that in case of default on the part of Contractor under the terms of this Contract, the material and equipment of Contractor shall be left at the Project for use by Owner in completing the work covered by this Contract. Owner shall be obligated to pay the Contractor for all such material and equipment.

17. If any part of Contractor's work depends, for proper execution, upon the work of Owner, any other Contractor, Contractor shall inspect and promptly report to Owner any apparent discrepancies or defects in such work that renders it unsuitable for use on the Project. Failure of Contractor to inspect and report shall constitute an acceptance of the work of Owner, other Contractors.

18. Contractor shall provide complete invoices and executed lien waivers in the form required by Owner, on or before the day of the month so that Owner may accept, review and approve said invoices for the current payment cycle. Request for payment will be deemed accept

by Owner on the date Owner determines, in his sole judgment, that Owner has all the information required to process the payment. Acceptance by Owner after the day of the month shall cause the request for payment to fall to the following payment cycle.

TERMS AND CONDITIONS RELATING TO OWNER

1. Owner agrees to employ an independent contractor is an independent who does work for a company on a contract basis. Independent contractors include people who offer services to the general work. Contractor to do the work described on Plan Of Work to the terms and conditions of this Contract.
2. Owner agrees to pay **Contractor 15%** of total amount work are plan to be done, faithful, prompt

and of the Contractor's work to be performed under this Contract and Owner's written acceptance of the work.

3. Owner will release checks for Contractor's once a week on the for completed work. 4. Final payment, including all retention, shall become due and payable day of the pass final inspection of the entire project and all work has been accepted by Owner.
5. This Contract shall not be modified except in writing signed by both Owner and Contractor.
6. Amount Due is not include (any village permits, dumpsters use on all project , exterior windows and doors)

TERMS AND CONDITIONS RELATING TO PAYMENT **SCHEDULE**

1. All payments must be in form of cash check or money orders (cashier check) within 2(two) days once individual work are completed.
2. 30% of total amount do in day contract sign.
3. All next payment must be done weekly amount agree buy Owner and Contractor.
4. For all bounced checks there is \$50.00 processing fee to be applied.
5. Contractor Must receive (10%) due after each payment, agree on amount at day this contract sign buy Owner and Contractor.
6. **Final Payment to be issued within a 4 (four) days from the time of inspection and paid on full with 14 days after inspection.**
7. **After 14 days, delay of payment every 7 days cost 10% of due amount.**

Acceptance:

1. I/we undersigned, accept the specifications, conditions, costs, payment schedules and personal responsibility for full payment of contract and extras as scheduled and outlined above. Uwe further authorize Venger. O Inc, to proceed with and complete the above described work as specified and as may be amended by written or verbal addendum/s.
2. You are entitled to an exact copy of this agreement you signed.
3. If there is any extra work that is required or suggested at the property worksite will be mentioned before any continuance and agreed by both parties verbally and by the document signed stating the work to be done,
4. Both parties by signing this document agree to the above terms and conditions. 5. IN WTNESS WHERE for, the parties hereby have executed this Agreement as of the day and year first above written.

OWNER: **Sergiy Bazylyk**

<>

By

Its

CONTRACTOR: **Venger O Inc**

<>

By

Its

Total Amount due in writing \$281,343

Including G C Fee

Sergiy Bazylyk owner

ARE YOU A CORPORATION?

PLEASE PROVIDE OF THE FOLLOWING:

FEDERAL ID #

Plan Of Work

Project Address: 548 W Dundee Rd Wheeling Il

1. Framing Amount due \$34,700.00

- Rough framing

2. Drywall Amount due \$28,000.00

Install new 5/8in drywalls, taping and primer.

3. Finish work Amount due \$ 18,800.00

1. Provide , baseboards and molding for all project
2. Install Interior door
3. Vanities

5. Install tile (tile not included)

4. Paint Amount due \$ 25,000.00 (Material and labor included)

1. Paint all walls ceiling
2. Paint all trims

6. Plumbing Amount due \$ 34,800

7. Heating and Cooling Amount due \$14,000

8. Electric Amount due \$37,467.00

Install 2' x 4' lights - 27 pieces

- Install 6" x 8' lights - 15 pieces
- Install 2' x 2' lights - 17 pieces
- Install emergency lights - 6 pieces
- Install combination exit sign with emergency light - 6 pieces
- Install exit signs - 5 pieces
- Install dimmer switches - 4 pieces
- Install OC switches - 16 pieces
- Install outside emergency lights - 2 pieces
- Install GFCI outlets - 26 pieces
- Install 20 amp outlets - 17 pieces
- Add 220v line for comp - 6 pieces
- Add line for coolers - 3 pieces
- Add line for refrigerator - 7 pieces
- Add line for roof top exhaust fan - 5 pieces

Notice:

- If you have any questions feel free to contact me
- Material cost for 2'x4', 6"x8' * 2'x2' lights is \$6,000
- Changing of 200 amp 42 position electrical panel will cost an extra \$1,500, if it is chosen to be changed

• We hereby propose to perform a labor and material at aforementioned project site according to blueprint. • We provide mortar, brick, concrete block and lintel over the windows and doors. • We do not provide structural steel

9. Epoxy (4000sgf) 28,000

10. Sprinkler system \$19,000

11. Install drop ceiling 12,000

Abbreviations

AC	Air Conditioning
A.F.F.	Above Finished Floor
ATC	Acoustical Tile Ceiling
CFM	Cubic Feet per Minute
C	Centerline
Cig.	Ceiling
C.O.	Cased Opening
C.O.	Cleanout
Conc.	Concrete
Cont.	Continuous
CW	Cold Water
Demo.	Demolition
D.F.	Drinking Fountain
Ø	Diameter
Dn.	Down
D.S.	Down Spout
Dwg.	Drawing
E	Existing to Remain
El.	Elevation
Elec.	Electrical
EM	Emergency
Eq.	Equal
Exist.	Existing
F.D.	Floor Drain
Flr.	Floor
Ft.	Feet
Furn.	Furnace
G.C.	General Contractor
GFI	Ground Fault Interrupter
H.	High
H.C.	Hollow Core
Hdwr.	Hardware
Ht.	Height
H.M.	Hollow Metal
HVAC	Heating, Ventilating & Air Conditioning
HW	Hot Water
HHW	Hot Water Heater
In.	Inches
IV	Isolation Shut-off valve
Lav.	Lavatory
Max.	Maximum
Mech.	Mechanical
Min.	Minimum
N	New
NIC	Not In Contract
O.C.	On Center
O.H.	Overhead
Opg.	Opening
Opp.	Opposite
QWD	Open Waste Drain
P	Plate
R	Relocated
R.O.	Rough Opening
S.C.	Separate Circuit
S.C.	Solid Core
S.F.	Square Feet
Sq.Ft.	Square Feet
Sht.	Sheet
Sim.	Similar
Temp.	Tempered
U.N.O.	Unless Noted Otherwise
V.I.F.	Verify In Field

Symbols/Legend

	Existing Construction to Remain
	Existing Construction to be Removed
	New Wall Construction (see wall sections)
	New Low-Height Wall Construction (see wall sections)
	Existing Construction to be Modified (see wall sections)
	Exit Sign w/ Directional Arrows (1 1/2-hr. battery backup or connect to 24 hr. emergency circuit)
	Emergency Light (1 1/2-hr. battery back-up or connect to 24 hr. emergency circuit)
	Exit Sign w/ Directional Arrows and Emergency Light (1 1/2-hr. battery backup or connect to 24 hr. emergency circuit)
	LED Down Light Fixture
	Vapor-proof Light Fixture
	Wall Washer Light Fixture
	2 x 2 LED Troffer Light Fixture
	2 x 4 LED Troffer Light Fixture
	2 x 4 LED Troffer Night Light Fixture
	1 x 4 LED Troffer Light Fixture
	Fluorescent Strip Light
	Track Light Fixture
	Switch
	Three-Way Switch
	Dimmer / Rheostat Switch
	Occupancy Sensor
	Thermostat
	HVAC Supply Register
	HVAC Return
	Exhaust Fan
	Exhaust Fan with Light
	Ceiling Fan
	Speaker
	Duplex Receptacle (wall mount)
	Quadrox Receptacle (wall mount)
	Duplex Receptacle with GFI Ground Fault Interrupter
	Separate Circuit Duplex Receptacle
	Duplex Receptacle with USB Receptacles
	Duplex Receptacle (floor Mount)
	Quadrox Receptacle (floor Mount)
	Flexible Whip
	Junction Box
	Telephone Outlet & Data Line (wall mount)
	Telephone Outlet & Data Line (floor mount)
	HDMI Outlet (wall mount)
	Power Pole
	Sprinkler Head
	Smoke Detector
	Fire Extinguisher
	Fire Alarm Pull
	Audio and Visual (Strobe) Alarm

NOTE: "E" Subscript denotes existing to remain
 "R" Subscript denotes existing to be relocated
 "N" Subscript denotes new
 "D" Subscript denotes demolition

Electrical Notes

- All electric work must comply with applicable municipal electric codes.
- All wall mounted telephone and electrical outlets shall be mounted at height to match existing, unless noted otherwise.
- All electrical and/or telephone boxes on opposite faces of the same wall are to be staggered. Caulk for sound attenuation.
- Mount all switches at building standard height.
- Provide controls that shall reduce lighting requirements by 50% as per IECC at rooms with new light fixtures only. Shopping area 103, if not provided with occupancy sensors controls, shall be provided with time switch controls and manual controls with light reduction.
- Maintain min. 30"W x 36"D clear floor space in front of electrical panel(s).

Plumbing Notes

- All plumbing work must comply with Illinois State Plumbing Code and all other applicable plumbing codes.
- See Sheet P-2 for plumbing diagrams.
- See P-3 & P-4 for gas

Mechanical Notes

- All mechanical work must comply with applicable codes
- See Sheet M-1 for Vent Schedule
- Existing (2) RTU to remain.
- Rework mechanical as required to accommodate new buildout.
- Mechanical drawings, if required, shall be provided by mechanical contractor.
- Provide duct detector
- See Roof Plan

Fire Protection Notes

- All emergency lighting and exit signs shall have 1-1/2 hr. battery back-up to assure continued illumination of not less than 1-1/2 hr. in the event of primary power loss. Comply with National Electric Code. Locations of exit and emergency lights are subject to field inspection.
- See egress plan sheet a-1 for fire extinguishers to be provided
- This building is sprinklered, Fire sprinkler shop drawings to be provided cover
- Existing Fire Alarm to remain. it is understood that the building's fire alarm system shall monitor the hood + duct fire suppression system for fire and trouble signals.
- Fire alarm shop drawings to be provided under separate cover

General Notes

- All work shall conform to State, Municipal and all other local codes.
- General Contractor shall field verify all dimensions and conditions shown on drawings prior to construction, and shall notify Sara E.F. Gensburg, Ltd. of any discrepancies, omissions and/or conflicts.
- All partitions are dimensioned from finish face or shown to align level with the face of another partition, unless noted otherwise.
- DO NOT SCALE DRAWINGS.
- Contractor shall be responsible for arranging with tenant and building management for handling and disposal of construction and demolition materials.
- All materials and equipment are to be new, unless noted otherwise, and construction, including workmanship, shall be of good quality and free from faults and defects.
- Contractor shall exercise care and be responsible for any damage to existing conditions which are to remain.
- General Contractor shall be responsible for the bracing and/or blocking of walls at framed openings and at all wall or ceiling mounted fixtures and equipment. Fire retardant wood shall be used for bracing and/or blocking
- All egress doors shall be readily operable from the side from which egress is to be made without the use of a key or special knowledge or effort.
- Flash patch floor as required at any door frames which are to be set true, constant and level to ceiling line.

Code Review

Work under this permit shall comply with all State, Municipal and following codes adopted by the Village of Wheeling.

Project Name: BUTCHER SHOP AND MARKET
and Address: 548-B W. DUNDEE RD WHEELING, ILLINOIS

Type of Work: Commercial Interior Alteration

Codes Used:
 2018 International building code
 2021 International energy conservation code
 2018 International fuel gas code
 2018 International mechanical code
 2018 International property maintenance code
 2017 International electric code
 2014 Illinois state plumbing code
 2018 International fire code
 2018 Illinois accessibility code

Use Group: M - Mercantile

Construction Type: II-B (Existing)

Occupant Load per IBC: 94 People

Total Floor Area: 7,312 S.F.

Total Occupant Load				
Area/Room	Per IBC	S.F.	People Net	Total
Open Space	Mercantile	3,722	60	62
Seating Area	Assembly	326	15	22
Storage	Storage	738	300	2
Kitchen	Kitchen	1,251	200	6
Business	Office	203	150	1
Toilets/Corridor		1,072	--	--
Total Floor Area			7,312	
Total Occupant Load per IBC			94	

Plumbing Fixture Count (per 2018 IPC)				
Total Occupant Load	37 people			
	19 Male		19 Female	
	Required	Provided	Required	Provided
Water Closet	1	1	1	1
Urinals	1	1	-	-
Lavatories	1	1	1	1
Mop Sink	1 Required, 1 Provided			

Index of Drawings

G-1	General Notes/Legend, Key Plan
A-1	Demolition Plan, Egress Plan
A-2	Floor plan, wall sections
A-3	Reflected Ceiling Plan
A-4	Equipment Plan, Equipment Schedule
A-5	Finish Schedule, Door Schedule.
M-1	Mechanical Plan, Vent Schedule, HVAC Equipment
M-2	Roof Plan and equipment
P-1	Plumbing Plans
P-2	Plumbing Diagrams
P-3	Floor Gas Plan
P-4	Gas Piping Diagram, Load Calculations, Roof Gas Plan
E-1	Panel Schedule, Electrical Diagram
E-2	Equipment circuit breaker Plan
E-3	Power circuit breaker Plan
E-4	Lighting circuit breaker Plan



Key Plan
 Not to Scale

Area of Work:
 "548B W. DUNDEE ROAD"

Architect's Certification:

I hereby certify that these plans and specifications have been prepared by me or under my direct supervision, and to the best of my knowledge comply with all applicable building codes of Wheeling, Illinois

Signed: Sara E.F. Gensburg
 State of Illinois License #001-010558 Exp. 11-30-2026
 Professional Design Firm
 Architect Corporation #184-003236 Exp. 04-30-2025

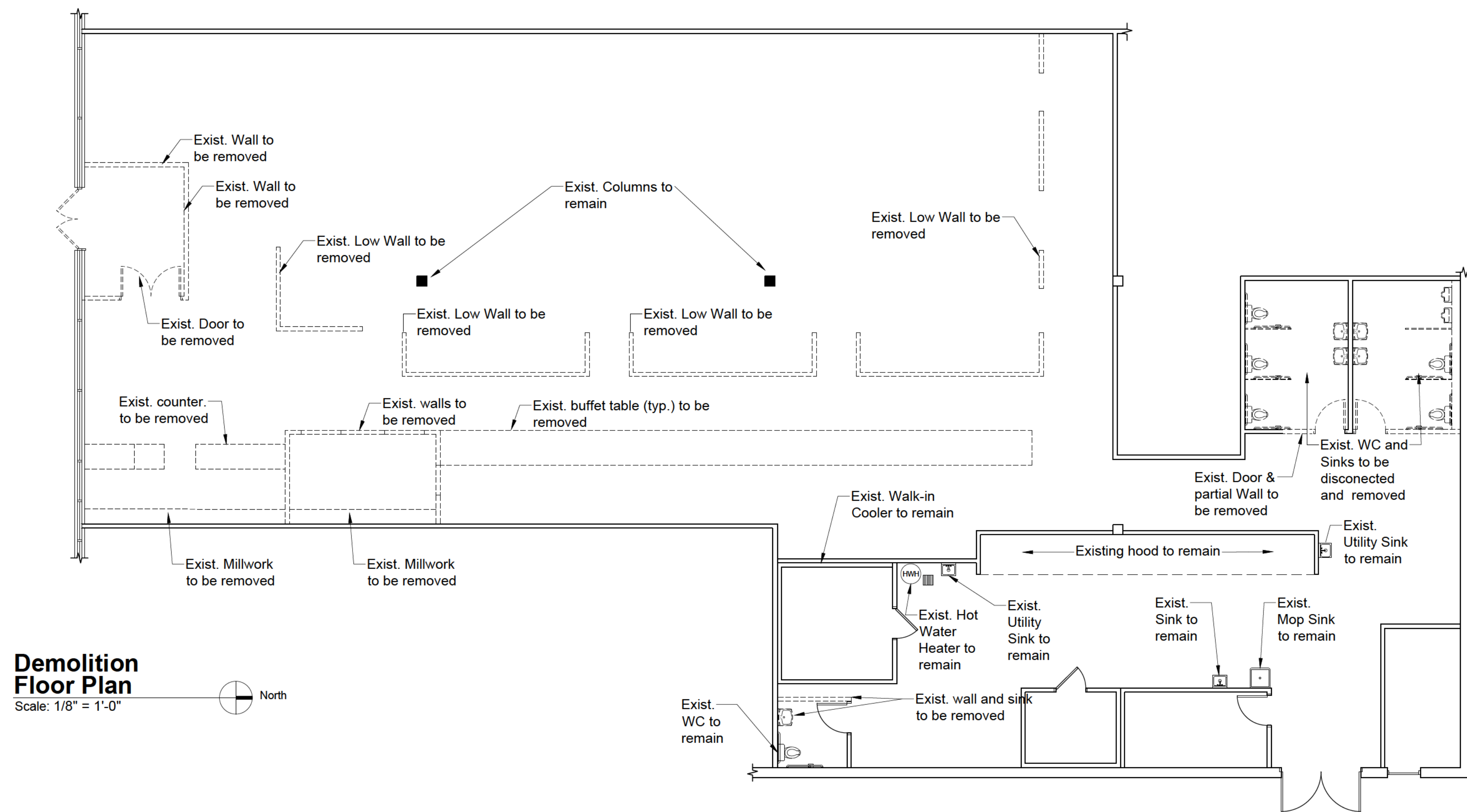


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Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

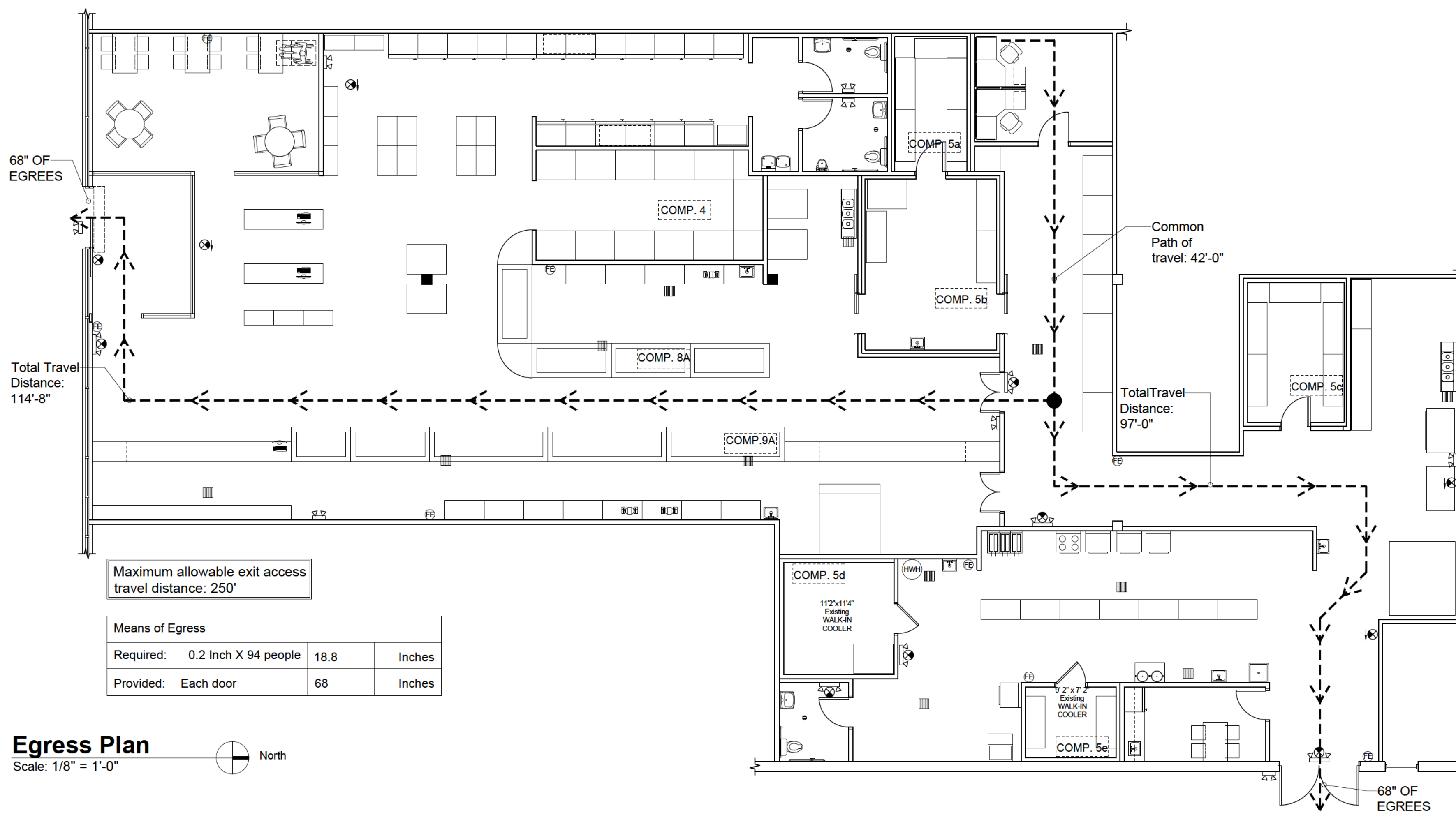
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1	02-19-25		06-09-25	06-29-25	07-06-25

SEFG No. 124193	SHEET: G1
Drawn: MAV	Checked: S.E.F.G.
Date: 02-19-25	Sheet 1 of 1



Demolition Floor Plan
Scale: 1/8" = 1'-0"

- Demolition Notes:**
1. Remove all walls, doors and frames as shown.
 2. Disconnect and remove electric and telephone outlets in walls being demolished.
 3. All demolition work is non-structural.
 4. Cap all plumbing piping associated with elements being removed.
 5. Demolish plumbing and water lines back to point of origin below elevated slab. Infill floor penetrations.
 6. GC to provide black out film (not black paint) for all windows during construction. Install prior to demolition starting and remove prior to tenant opening.



Egress Plan
Scale: 1/8" = 1'-0"

Maximum allowable exit access travel distance: 250'

Means of Egress			
Required:	0.2 Inch X 94 people	18.8	Inches
Provided:	Each door	68	Inches

- NOTE:**
1. Doors at exit passageways, exit stairways, and exit discharge to be identified by tactile signs with raised character and Braille below
 2. Exits serving a required accessible space but not providing an approved accessible means of egress to be provided with directional signs indicating the route to the nearest accessible means of egress.
 3. Exit doors, including existing, within ten inches (10") of the finished floor or ground measured vertically shall have a smooth surface on the push side extending the full width of the door.



Fire extinguishers shall be wall mounted with their leading
FE = Class k-rated portable Fire E extinguishers

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.

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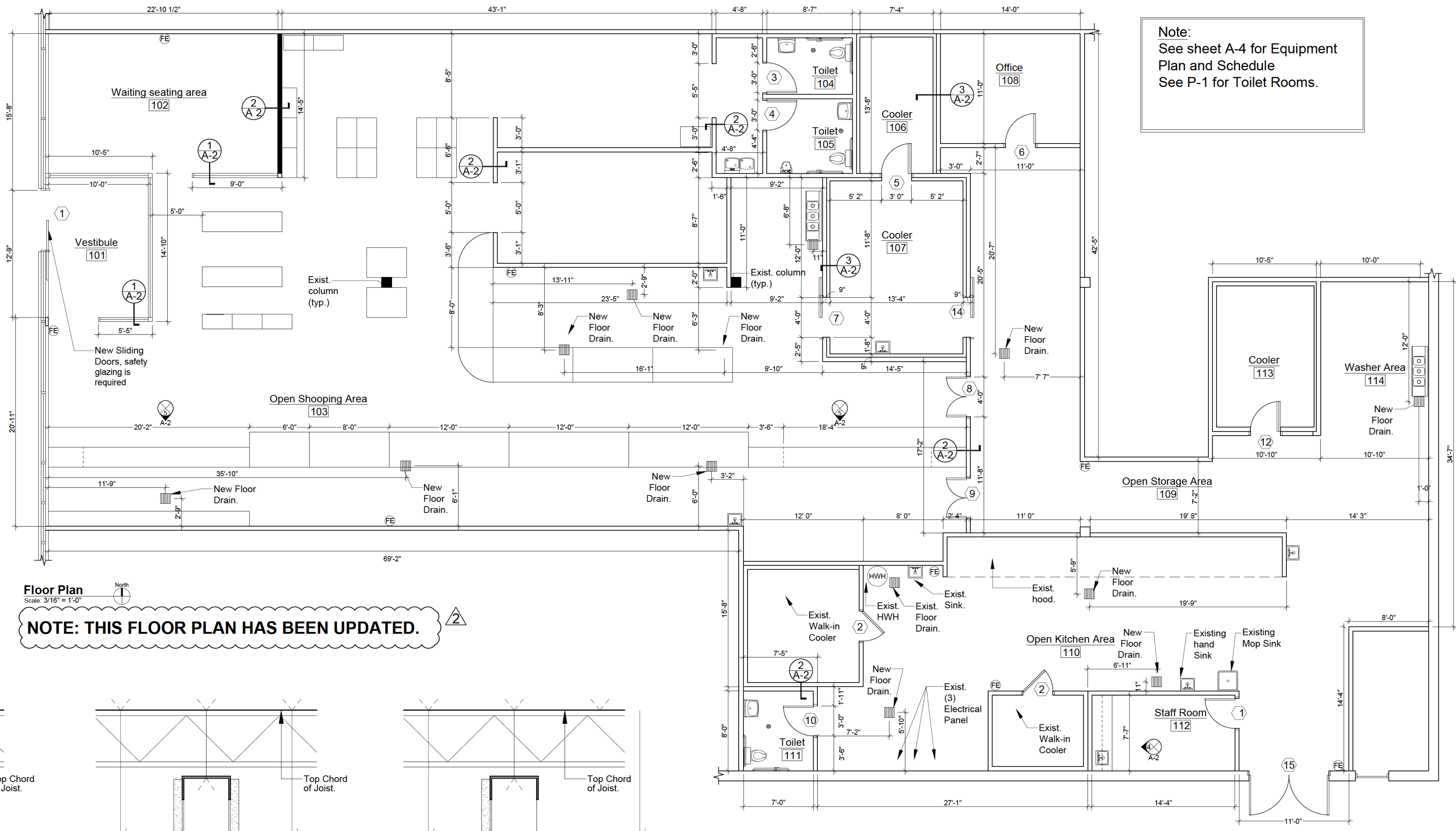
BUTCHER SHOP AND MARKET
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3	06-23-25	Revised per Building Department Comments	Revised per Building Department Comments
4	07-06-25	Revised per Building Department Comments	Revised per Building Department Comments



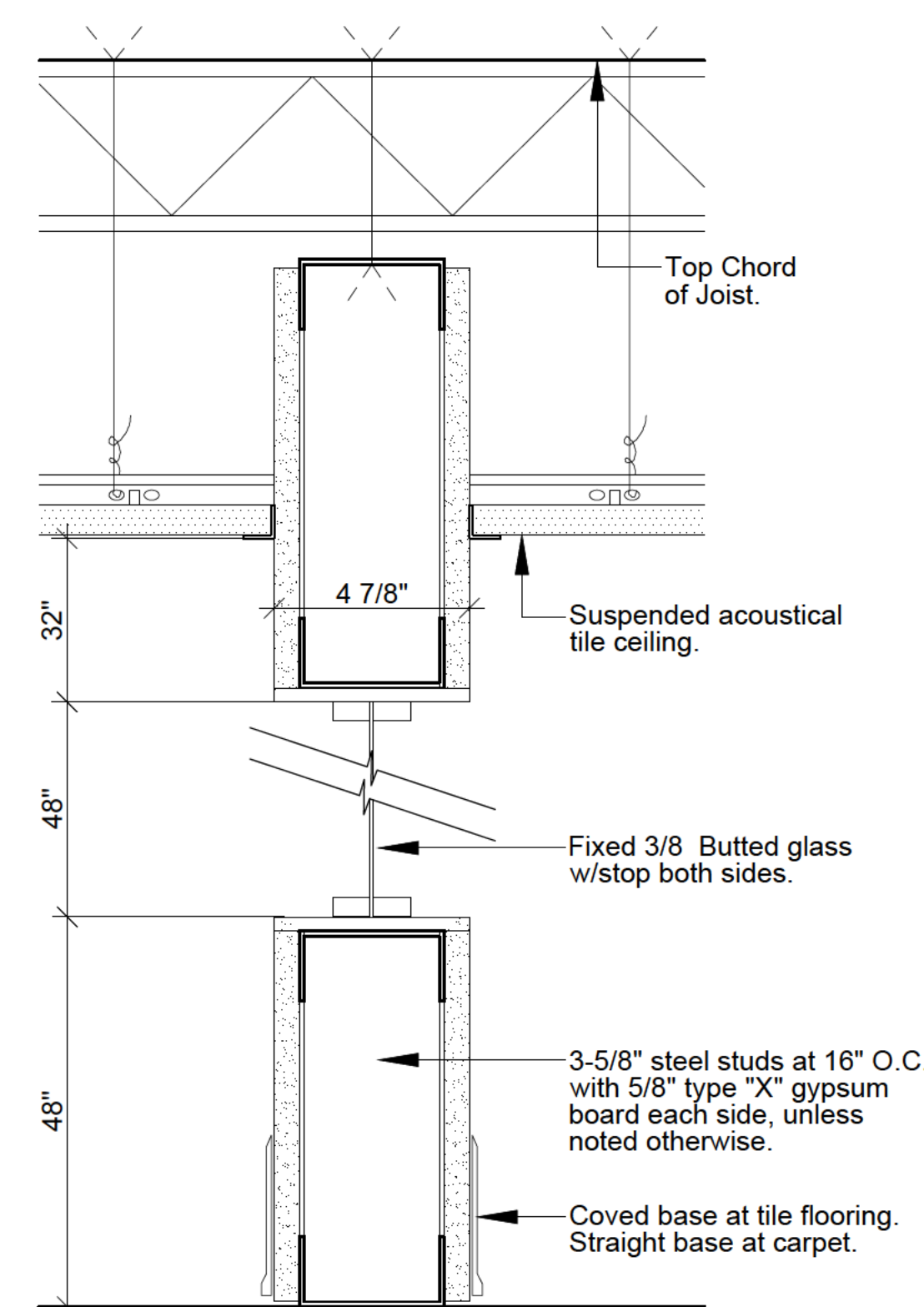
SEFG No. 124193
Drawn: MAV
Checked: S.E.F.G.
Date: 02-19-25
SHEET: **A1**
Sheet 1 of 5



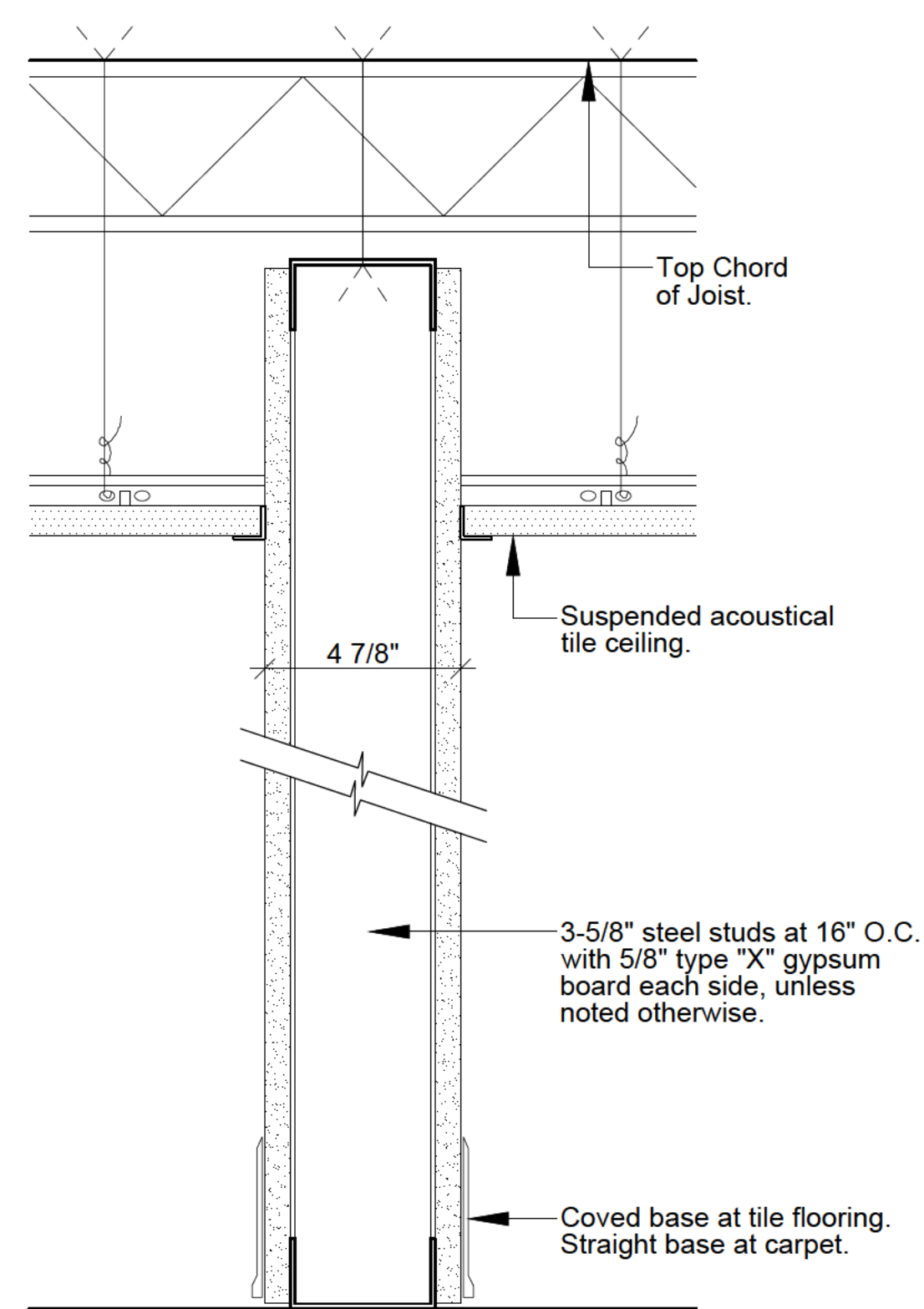
Note:
See sheet A-4 for Equipment Plan and Schedule
See P-1 for Toilet Rooms.

Floor Plan
Scale: 3/16" = 1'-0"

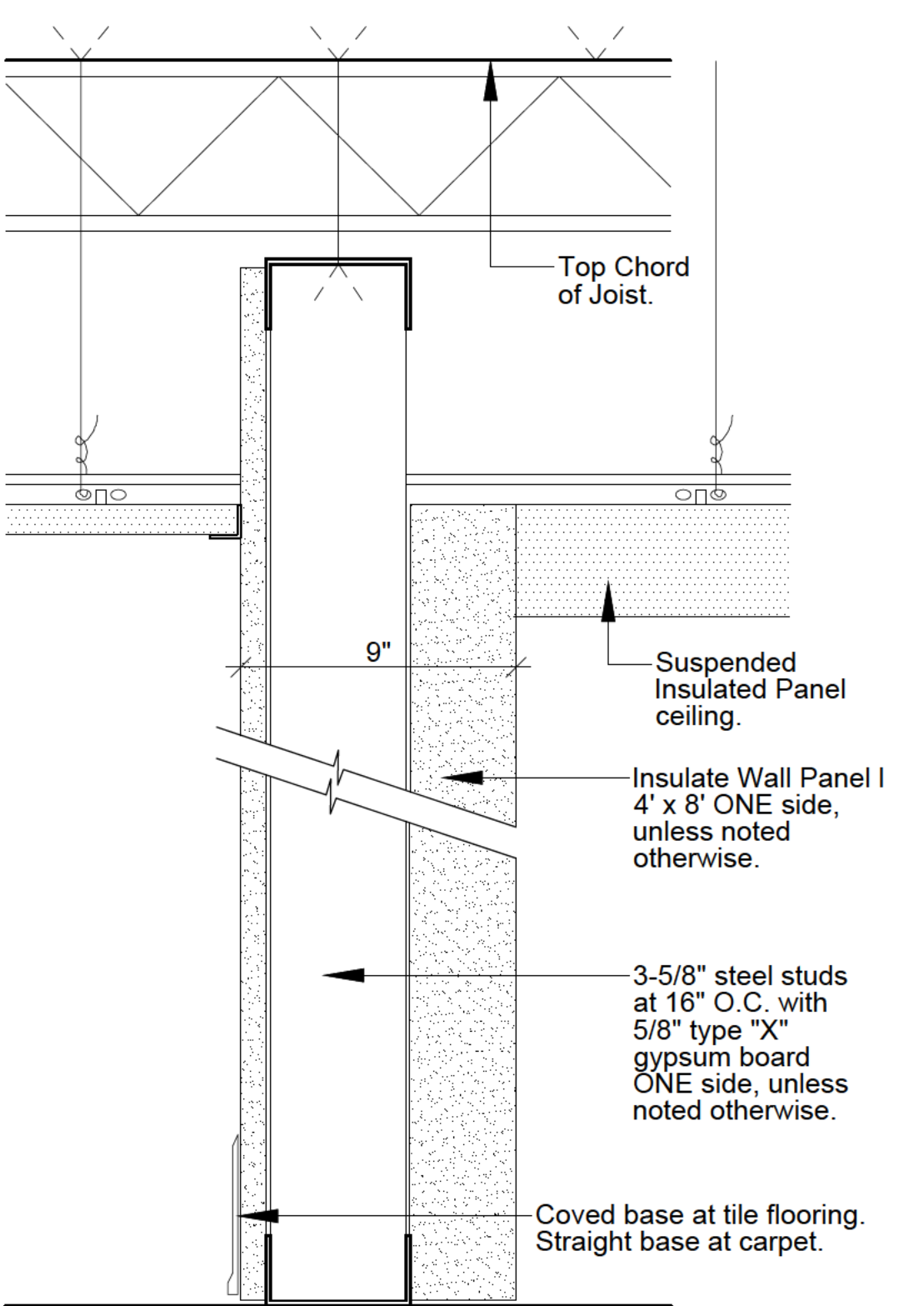
NOTE: THIS FLOOR PLAN HAS BEEN UPDATED.



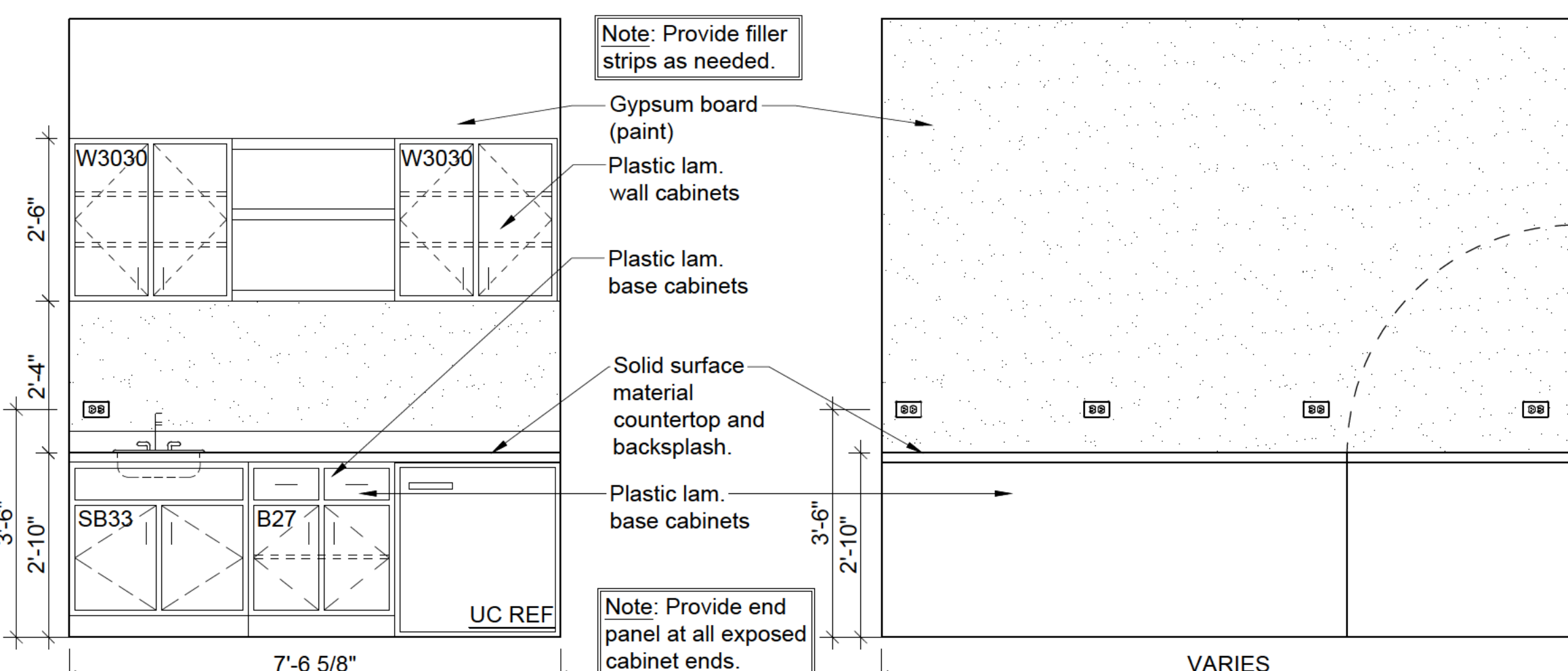
1 Wall Section @ New low Wall
Scale: 3" = 1'-0"



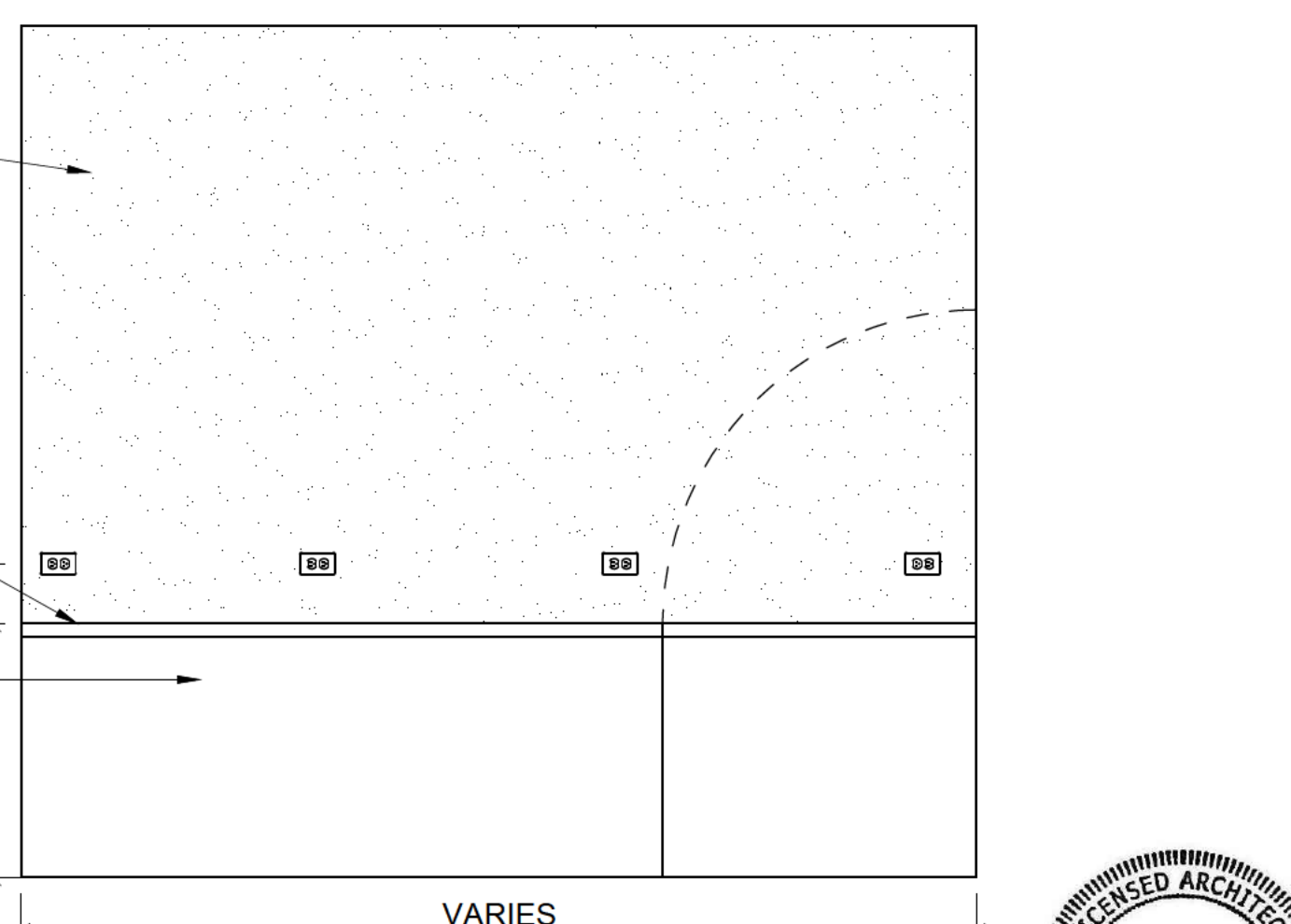
2 Wall Section @ New Wall
Scale: 3" = 1'-0"



3 Wall Section @ New Walk in Cooler Wall
Scale: 3" = 1'-0"



4 Interior Elevation @ Staff Room
Scale: 1/2" = 1'-0"



5 Interior Elevation @ Staff Room
Scale: 1/2" = 1'-0"

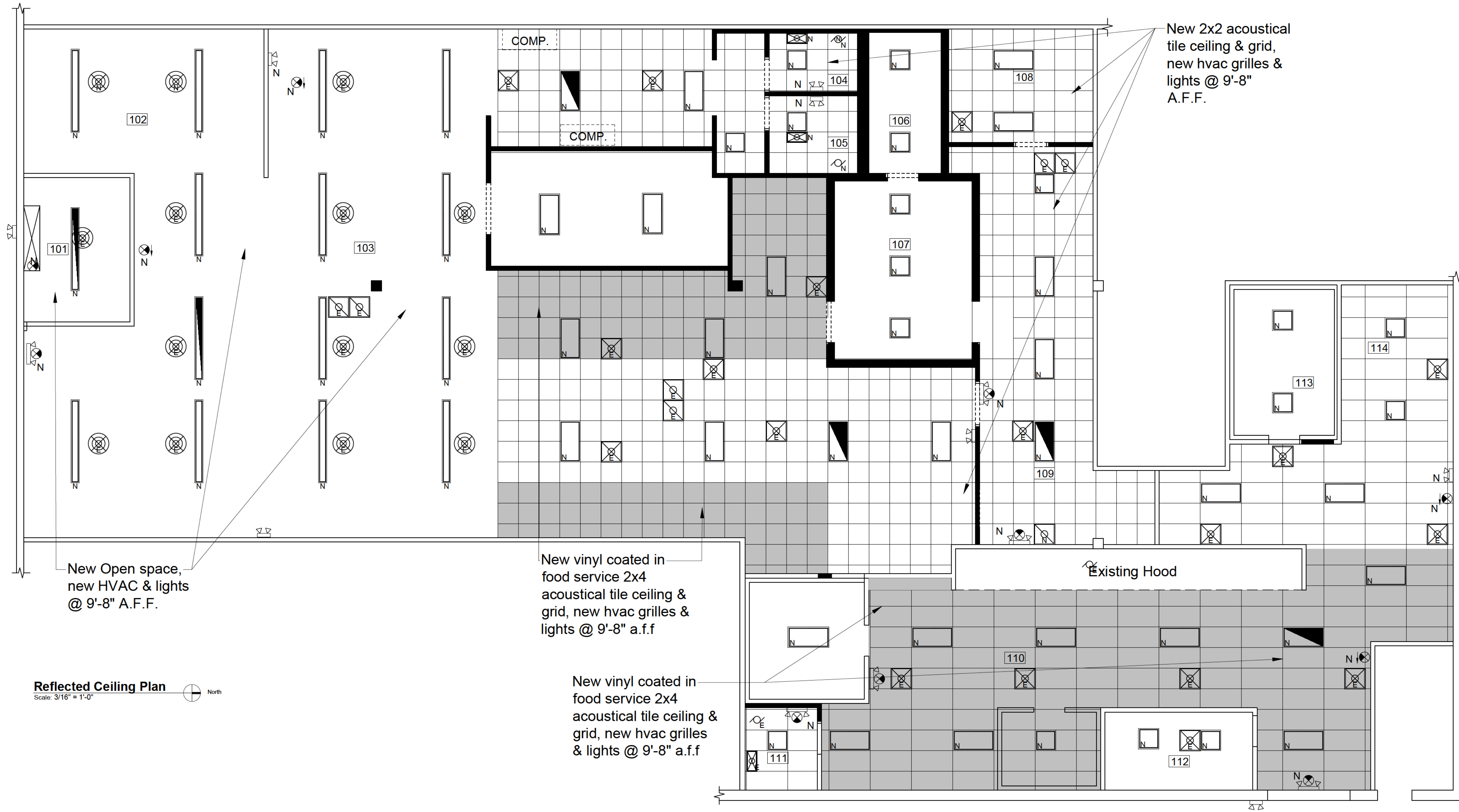
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Drawn: MAV
Checked: S.E.F.G.
Date: 02-19-25
SHEET: **A2**
Sheet 2 of 5





New 2x2 acoustical tile ceiling & grid, new hvac grilles & lights @ 9'-8" A.F.F.

New Open space, new HVAC & lights @ 9'-8" A.F.F.

New vinyl coated in food service 2x4 acoustical tile ceiling & grid, new hvac grilles & lights @ 9'-8" a.f.f

New vinyl coated in food service 2x4 acoustical tile ceiling & grid, new hvac grilles & lights @ 9'-8" a.f.f

Reflected Ceiling Plan
Scale: 3/16" = 1'-0" North

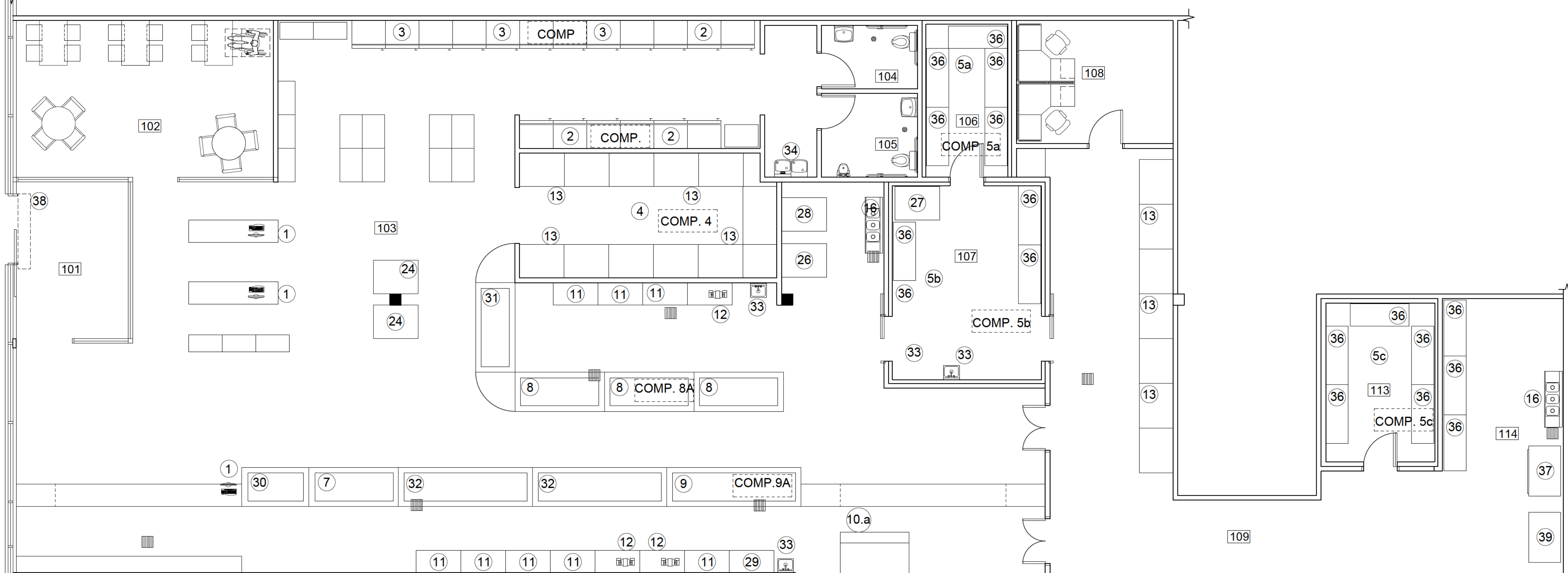
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3				Revised per Building Department Comments	



SEFG No. 124193
Drawn: MAV
Checked: S.E.F.G.
Date: 02-19-25
SHEET: **A3**
Sheet 3 of 5



Equipment Plan
Scale: 3/16" = 1'-0"

No.	Item	Qty.	Manufacturer	Model	Dimensions	Electrical				Plumbing			Gas	BTU	Remarks
						Volt	Amp.	HP	KW	CW	HW	San.			
1	POS Cash Register	3				115	6								20 amp - Circuit Breakers
2	Commercial Merchan. Ref.	3	Zero Zone	RMMC30	96"W x 37.5"D x 81.5"H	115	3.99		0.3			1/2	1,430		20 amp - Circuit Breakers
3	Commercial Merchan. Freezer	3	Zero Zone	RHLC30	96"W x 37.5"D x 81.5"H	208	20					1/2	2,475		20 amp - Circuit Breakers
4	Walk in Cooler Veggies	1	Coolstructures	46" X 92" X 4"	23"W x 112"D x 108"H	208/230		0.9				1/2	8,130		20 amp/30 amp - C. Breakers
5a	Walk in Cooler	1	Coolstructures	46" X 92" X 4"	74"W x 139"D x 108"H	208/230		0.5				1/2	4,299		20 amp/30 amp - C. Breakers
5b	Walk in Cooler	1	Coolstructures	46" X 92" X 4"	134"W x 174"D x 108"H	208/230		0.9				1/2	5,525		20 amp/30 amp - C. Breakers
5c	Walk in Cooler	1	Coolstructures	46" X 92" X 4"	99"W x 142"D x 108"H	208/230		0.5				1/2	6,179		20 amp/30 amp - C. Breakers
5d	Walk in Cooler	1	EXISTING		134"W x 136"D x 92"H								4,299		20 amp/30 amp - C. Breakers
5e	Walk in Cooler	1	EXISTING		110"W x 86"D x 92"H								4,117		20 amp/30 amp - C. Breakers
6	Mop Sink	1	Mustee	63	24"W x 24"D x 10"H										
7	Hot Case	1	Henny Penny	HMR-106	82.25"W x 37.5"D x 32"H	120/208	20		6.67						30 amp - Circuit Breakers
8	Cold Case	3	Kysor Warren	NS93S1	96.38"Wx41.78"Dx33.78"H	115	15	1							20 amp - Circuit Breakers
8a	Condenser Unit	1	Larkin	LCH00MCAZCZ	28"W x 25"D x 18"H		38	1/15					7,530		
9	Cold Case	1	HUSSMANM	ESBDHV-12	144"W x 45"D x 52"H		38	1/15					6,320		20 amp - Circuit Breakers
9a	Condenser Unit	1	Larkin	LCH00MCAZCZ	28"W x 25"D x 18"H										
10	Commercial Smoker Oven	1	Southern Pride	SPK-500	60"W x 65"D x 85"H	120	15					Yes			20 amp - Circuit Breakers
10 a	Commercial Hood Type 1	1	Southern Pride	VSP Eyebrow Hood	60"W x 24"D x 18"H	120	15								
11	Commercial work table	11	Regency	600TS1860S	24"W x 48"D x 34"H										
12	Meat slicer w/ 13" blade	3	BIZERBA GSPV-2150	GSPV-2150	30"W x 334"D x 30"H	110		0.5							20 amp - Circuit Breakers
13	Rack Shelves	19	UNILINE		36"W x 24"D x 10"H										
14	Commercial Fryer	3	Pitco	SG14-S	15"W x 30"D x 47"H	110							115,000		
15	Electric rice cooker/steamer	2	Town 57155	57155								Yes	180,000		20 amp - Circuit Breakers
16	3-Compartment Sink	2	BK Resources	BKUBS-372T	72"W x 21"D x 32.5"H					1/2	1/2	1 1/2			
17	Commercial hood	1	EXISTING		37"W x 48"D							Yes			20 amp - Circuit Breakers
18	Commercial Range	1		IR-ENG	36"W x 30"D x 36"H	120	6		6.7			Yes	227,000		20 amp - Circuit Breakers
19	Commercial Griddle	1		Star 6361F	15"W x 30"D x 15"H								84,900		
20	Convection Oven	1	Southbend	PCG180	38"W x 37"D x 65"H	120	7.9					Yes	180,000		20 amp - Circuit Breakers
21	Combi Oven	1	Alto Shaam	C1P7-20E	43"W x 46"D x 37"H	208/240		21.9		1/2					60 amp - Circuit Breakers
22	Ice Maker	1	Hoshizaki	801MAH	55"W x 69"D x 66"H	115	11.8			1/2			5,000		20 amp - Circuit Breakers
23	Oven Cook & Hold	1	Alto Shaam	1000-T1H	25"W x 34"D x 76"H	230	21		4.9						20 amp - Circuit Breakers
24	Self-contained Berry	2	Southern CasArt	SAR	48"W x 46"D x 42"H	208/230		14.87							30 amp - Circuit Breakers
25	Hot Water Heater	1	AO Smith	BTH1-195900		120	5								
26	Sausage Mixer	1	Talsa	MX 95s	58"W x 117"D x 116"H			1	0.8						20 amp - Circuit Breakers
27	Meat Saw	1	HOBART	6614	36"W x 40"D x 60"H	208/240	60	3							30 amp - Circuit Breakers
28	Sausage Stuffers	1	TUSLA	SS-ES-0065	21"W x 23"D x 50"H	208/240	5.6	1.5	1.1						20 amp - Circuit Breakers
29	Oven Turbo	1	Turbo Chef	Encore 2	21"W x 30"D x 18"H	208/240	30		6.7						20 amp - Circuit Breakers
30	Cold Case	1	Hussmann	Q2-SP-4N-4CR	48"W x 51"D x 60"H	120	15						3,300		20 amp - Circuit Breakers
31	Fish and Poultry Case	1	Howard-McCray	SC-CFS40E-8-LED	100.5"W x 40"D x 53"H	115	16	0.3							20 amp - Circuit Breakers
32	Red Meat Case	2	Howard-McCray	SC-CMS40E-10-LED	124.5"W x 40"D x 53"H	115	13.8	0.5							20 amp - Circuit Breakers
33	Hand Sink	5	Regency	60h17P	17"W x 15"D					1/2	1 1/2				
34	HI-LOW Water Fountain	1	Oasis	VERSACOOOLER	36"W x 18"D x 36"H										20 amp - Circuit Breakers
35	Double Rack Oven (Revent)	1	Revent	724	80" x 90" x 104"	205/220	16					Yes	343,000		30 amp - Circuit Breakers
36	Shelves	19	Metro	Super Erecta	24" x 63" x 63"										
37	Utensil Washer	1	Mainca	9130	50" x 27" x 64"	240	50		16.5	1/2	1 1/2				30 amp - Circuit Breakers
38	Air Curtain	1	Berner	IDC12-1048E	48" x 18" x 18"		15	0.5	14						20 amp - Circuit Breakers
39	Admatic	1			68" x 38" x 79"H	220	19								30 amp - Circuit Breakers

Notes:
 1. Tenant to verify exact equipment being installed.
 2. Contractor to verify exact installation requirements with equipment manufacturer specifications and provide all connections as required.
 3. All equipment set in place by equipment contractor, leveled, flashed and made ready for final connection by plumbing, electrician, gas, steam and other trades.
 4. Electricians to connect wiring to refrigerator condensing units, including control wiring.

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.



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 548-B W. DUNDEE ROAD
 WHEELING, ILLINOIS

Interior Renovation

No.	02-19-25	Issued for Permit
	06-09-25	Revised per Building Department Comments
	08-24-25	Revised per Building Department Comments
	07-06-25	Revised per Building Department Comments

SEFG No. 124193
 Drawn: MAV
 Checked: S.E.F.G.
 Date: 02-19-25

SHEET: **A4**
 Sheet 4 of 5

ROOM FINISH SCHEDULE

Room Number	Room Name	Floor	Base	Wall	Ceiling	Ceiling Height	Remark
101	Vestibule	CT-1	CT-1	P-1	ATC-1	9'-8" A.F.F.	
102	Waiting seating Area	CT-1	CT-1	CT-1* / P-1	ATC-1	9'-8" A.F.F.	* Up to a height of four feet (4')
103	Shooping Area	CT-1	CT-1	P-1	ATC-1/VCT-1	9'-8" A.F.F.	
104	Toilet	CT-1	CT-1	CT-1* / P-1	ATC-1	9'-8" A.F.F.	* Up to a height of four feet (4')
105	Toilet	CT-1	CT-1	CT-1* / P-1	ATC-1	9'-8" A.F.F.	* Up to a height of four feet (4')
106	Cooler	CT-1	CT-1	CT-1* / P-1	-	9'-8" A.F.F.	* Up to a height of four feet (4')
107	Cooler	CT-1	CT-1	CT-1* / P-1	-	9'-8" A.F.F.	* Up to a height of four feet (4')
108	office	CT-1	CT-1	P-1	ATC-1	9'-8" A.F.F.	
109	Open Storage Area	CT-1	CT-1	P-1	ATC-1	9'-8" A.F.F.	
110	Open Kitchen Area	CT-1	CT-1	CT-1* / P-1	VCT-1	9'-8" A.F.F.	* Up to a height of four feet (4')
111	Toilet	CT-1	CT-1	CT-1* / P-1	ATC-1	9'-8" A.F.F.	* Up to a height of four feet (4')
112	Staff Room	CT-1	CT-1	P-1	ATC-1	9'-8" A.F.F.	
113	Cooler	CT-1	CT-1	CT-1* / P-1	-	9'-8" A.F.F.	* Up to a height of four feet (4')
114	Wash area	CT-1	CT-1	CT-1* / P-1	-	9'-8" A.F.F.	* Up to a height of four feet (4')
115							

Floor:
CT-1 Ceramic tile
to be selected by tenant

Wall:
P-1 "Benjamin Moore egg-shell or equivalent"
Color: To be selected by tenant

CT-1 Ceramic Tile
or FRP Board
To be selected by tenant

Base:
CT-1 Ceramic tile Base
To be selected by tenant

Ceiling:
ATC-1 2x4 Acoustical Tile Ceiling
VCT-1 2X4 Vinyl Coated Tile Ceiling (Grey)

Legend

- All colors, styles and finishes to be approved by tenant.
- Sand the existing concrete floor to remove the sealer to provide a suitable floor surface to adhere the flooring.
- Skim coat the existing concrete floor with Ardex floor leveling compound as necessary for uneven surfaces before installation of flooring.

INTERIOR FINISHES

Notes:

CLASS A

Material	Min. Critical Radiant Flux	Flame Spread	Smoke Developed
Carpet	0.22 watts/cm ²	—	—
Tile	—	0	0
VCT/LVT	—	20	450
Vinyl Base	—	20	450
Paint	—	10	5
Acoustical Tile	—	25	10
Acoustical Tile (Vinyl coated)	—	20	5

DOOR SCHEDULE

DOOR		Opening Size	Material	Finish	FRAME		HARDWARE		Detail	Remark
Tag	Type				Material	Finish	Hardware Set			
1	Sliding (Lite)	6'-0"W x 7'-0"H	Alum. + Temp. Glass	Glass	H.M.	Paint	Automatic Sliding, Pulls			Safety glazing req.max. U-factor 0.63; min. r-value is r-1.59, Door MAX.U-factor for the doors is 0.37.
2	Existing	--	--	--	--	--	--	--	--	--
3	Flush	3'-0"W x 7'-0"H	Hollow Metal	Paint	H.M.	Paint	Lever Hdwr.			Door to be always unlocked in the direction of travel.
4	Flush	3'-0"W x 7'-0"H	Hollow Metal	Paint	H.M.	Paint	Lever Hdwr.			Door to be always unlocked in the direction of travel.
5	Flush	3'-0"W x 7'-0"H	Cooler Door	Paint	H.M.	Paint	Lever Hdwr.			Insulate Panells
6	Flush	3'-0"W x 7'-0"H	Hollow Metal	Paint	H.M.	Paint	Lever Hdwr.			Door to be always unlocked in the direction of travel.
7	Sliding	3'-0"W x 7'-0"H	Cooler Door	Paint	H.M.	Paint	Pulls			Insulate Panells
8	Flush	4'-0"W x 7'-0"H	Hollow Metal	Paint	H.M.	Paint	Lever Hdwr., w/ Closer			Door to be always unlocked in the direction of travel.
9	Flush	3'-0"W x 7'-0"H	Hollow Metal	Paint	H.M.	Paint	Lever Hdwr., w/ Closer			Door to be always unlocked in the direction of travel.
10	Existing	--	--	--	--	--	--	--	--	--
11	Existing	--	--	--	--	--	--	--	--	--
12	Flush	3'-0"W x 7'-0"H	Cooler Door	Paint	H.M.	Paint	Lever Hdwr.			Insulate Panells
13	Flush	3'-0"W x 7'-0"H	Cooler Door	Paint	H.M.	Paint	Lever Hdwr.			Insulate Panells
14	Sliding	4'-0"W x 7'-0"H	Cooler Door	Paint	H.M.	Paint	Pulls			Insulate Panells
15	Existing	--	--	--	--	--	--	--	--	PANIC HARDWARE

Notes:

- Door and hardware finish to be approved by Tenant.
- Verify master keying of all hardware with owner. Verify all hardware requirements with owner prior to ordering.
- All new doors to be 3'-0" wide with lever hardware unless noted otherwise.
- All "Opening Size" dimensions do NOT include door frame.
- Provide accessible required maneuvering clearance at all doors (18" min. at jamb on pull side, 12" at jamb on push side.).
- Door handles, pulls, latches, locks, and other operating devices required to be accessible shall not require tight twisting of the wrist to operate on new and existing doors. (IFC 1008.1.8.1 & NFPA 101-7.2.1.5.9).
- All egress doors shall be readily operable from the interior/egress side without the use of a key (unlocked in the direction of egress) or special knowledge or effort. A lever handle or push paddle must be provided that opens the lock and door in one motion.
- All glass in doors to be tempered safety glass.
- Panic hardware shall be on exit doors. door threshold shall not exceed one-half inch (1/2") in height, thresholds exceeding one-quarter inch (1/4") in height shall have a 1:2 bevel. door closers shall meet opening force and sweep period requirements."

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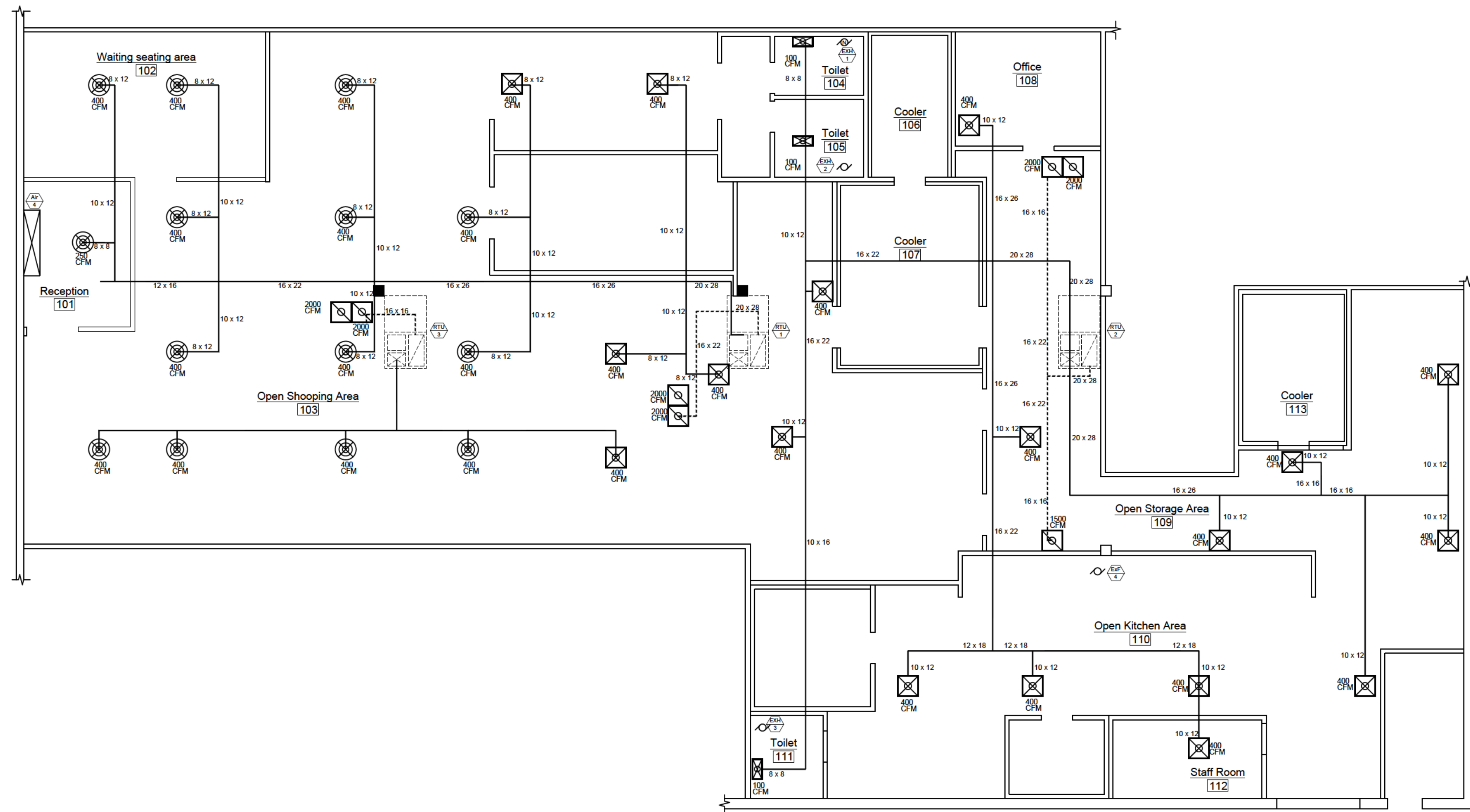
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

Interior Renovation

No.	Date	Issued For
1	02-19-25	Issued for Permit
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4	07-02-25	Revised per Building Department Comments



SEFG No. 124193	SHEET: A5
Drawn: MAV	
Checked: S.E.F.G.	
Date: 02-19-25	Sheet 5 of 5

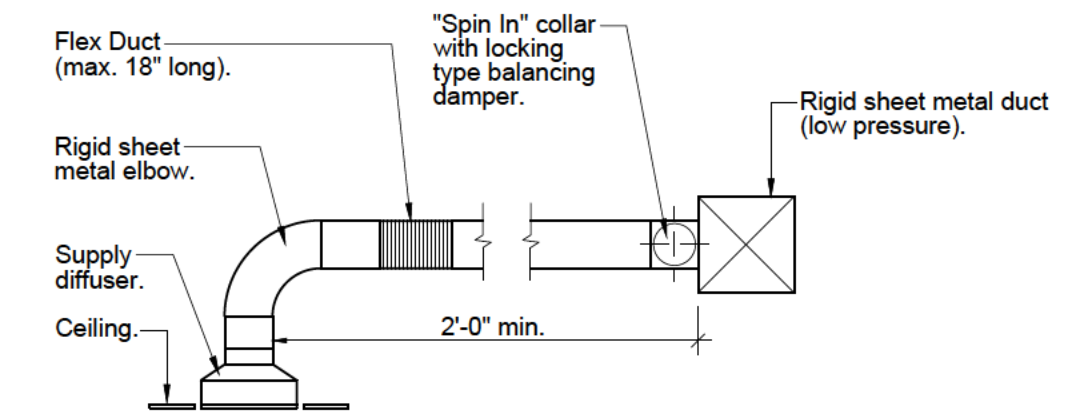


Mechanical Plan
North
Scale: 1/8" = 1'-0"

Note: All exhaust to be located min. 10'-0" from any fresh air intake.
-All ducts shall be sealed in accordance with UL 181a.
-All rooftop units with a return air greater than 2000 cfm shall be equipped with smoke detectors located in the return air ducts.

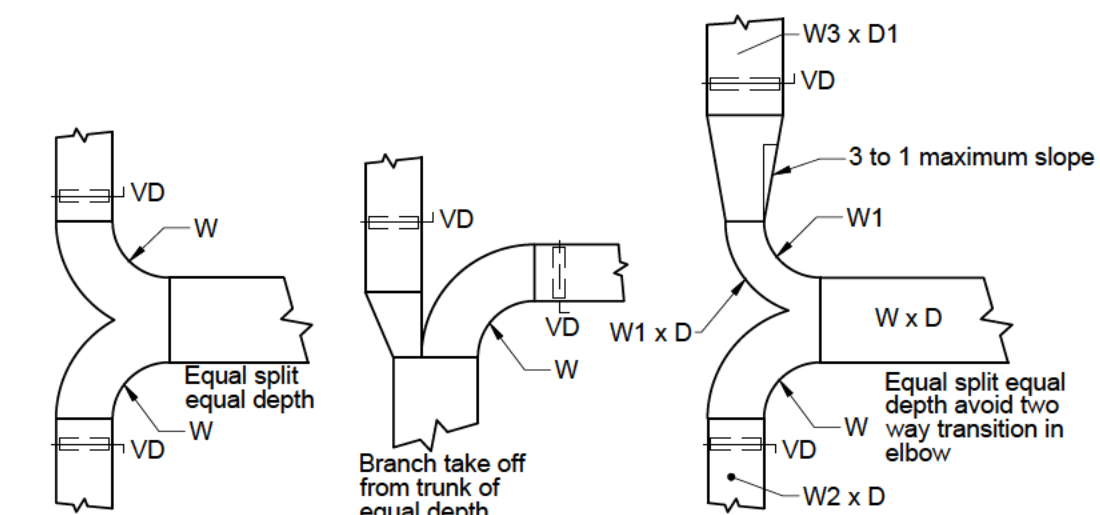
Note:
- HVAC Thermostatic setback controls shall be configured to set back or temporarily operate the system to maintain zone temperatures down to 55°F (13°C) or up to 85°F (29°C). Automatic setback and shutdown must meet the following requirements. (mandatory) an Automatic time clock or programmable controls shall be capable of starting and stopping the system for seven different daily schedules, additionally, the controls shall have a manual override that allows temporary operation of the system for up to 2 hours; a manually operated timer configured to operate the system for up to 2 hours; or an occupancy sensor.
Automatic start controls shall be provided for each HVAC system. the automatic start controls shall be configured to automatically adjust the daily start time of the HVAC system in order to bring each space to the desired occupied temperature immediately prior to scheduled occupancy. the automatic stop controls shall be configured to reduce the HVAC system's heating temperature set point and increase the cooling temperature set point by not less than 2°F before scheduled unoccupied periods.
- Provide test balance report to the municipality prior to the final inspection for their file, also provide a copy to the field inspector at the time of final inspection
-Provide Duct detector
-Provide Air Curtain in the front door

AIR VOLUME (CFM)	DUCT SHAPE	
	ROUND	RECTANGULAR
100	6"Ø	8"x6"
125 - 175	8"Ø	8"x6"
200	8"Ø	8"x8"
225 - 250	9"Ø	8"x8"
300 - 350	10"Ø	8"x10"
400	10"Ø	8"x12" - 10"x10"
450 - 500	12"Ø	8"x14" - 10"x10"
600	12"Ø	8"x14" - 10"x12"
700	12"Ø	8"x16" - 10"x14"
800	14"Ø	8"x20" - 10"x16"
900	14"Ø	8"x22" - 10"x18"
1000	16"Ø	8"x24" - 10"x20"
1200	16"Ø	8"x28" - 10"x22"
1400	18"Ø	12"x22" - 10"x26"
1600	18"Ø	12"x24" - 10"x28"
1800	20"Ø	12"x26" - 10"x32"
2000	20"Ø	12"x28" - 10"x34"
2500	22"Ø	12"x32" - 10"x40"
3000	24"Ø	12"x38" - 14"x32"
3500	26"Ø	12"x42" - 14"x38"
4000	28"Ø	14"x44" - 16"x38"



Typical Supply Diffuser Installation

Not to scale



Duct Connections - All Pressure

Not to scale

VENTILATION SCHEDULE

(Based on 2018 International Mechanical Code Table 403.3.1.1)
* Actual CFM will meet or exceed International Mechanical Code requirements.

Room Number	Room Name	Occupancy Classification	Floor Area Sq. Ft.	Fixture Count	Occupant Load	Required Mech. Ventilation		Actual Mech. Ventilation			Supply Fan Source Equipment	Return Fan Source Equipment	Exhaust Fan Source Equipment	Remarks
						CFM Outdoor Air	CFM Air Exhaust	CFM Outdoor Air	CFM Air Supply	CFM Air Return				
101	Vestibule	Main Entry Lobby	144		1	14	0	30	100	0		RTU 1		Air Curtain
102	Waiting Seating Area	Dining Room	326		23	232	0	240	800	0		RTU 1		
103	Shooping Area	Sales	3568		54	833	0	2,040	6800	8000		RTU 1-3	RTU 1-3	
104	Toilet	Toilet Room — Public	48	1	0	0	70	30	100	0	70	RTU 2	EXH -1	New 150CFM exhaust fan.1
105	Toilet	Toilet Room — Public	64	1	0	0	70	30	100	0	70	RTU 2	EXH -2	New 150CFM exhaust fan. 2
106	Cooler				-				0	0				
107	Cooler								0	0				
108	Office	Office	154		1	14	0	240	800	0		RTU 2		
109	Open Storage Area	Storage Room	738		0	89	0	600	2000	5500		RTU 2	RTU 2	
110	Open Kitchen Area	Kitchen (cooking)	1251		25	338	876	480	1600	0	13200	RTU 2		Hood 33"x4"x100 - 13,200 CFM, fan. 4
111	Toilet	Toilet Room — Public	56	1	0	0	70	30	100	0	70	RTU 2	EXH -3	New 150CFM exhaust fan. 3
112	Staff Room	Office	1083		5	90	0	240	800	0		RTU 2		
113	Cooler								0	0				
114	Wash Area	Office							400	0		RTU 2		
TOTALS:			7,432	3	109	1,610	1,086	3,960	13,600	13,500	13,410			

- Notes:**
- Existing three (3) units, Number 1 & 2, two (2) of 12.5 Tons, Number 3, one (1) of 5 Tons each RTU to remain serving this space.
 - Extend ductwork as needed to accommodate new buildout.
 - All exhaust to be min. 10'-0" away from any fresh air intake.
 - Mechanical plan is schematic - rework duct layout shown as needed to accommodate an efficient system.

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.

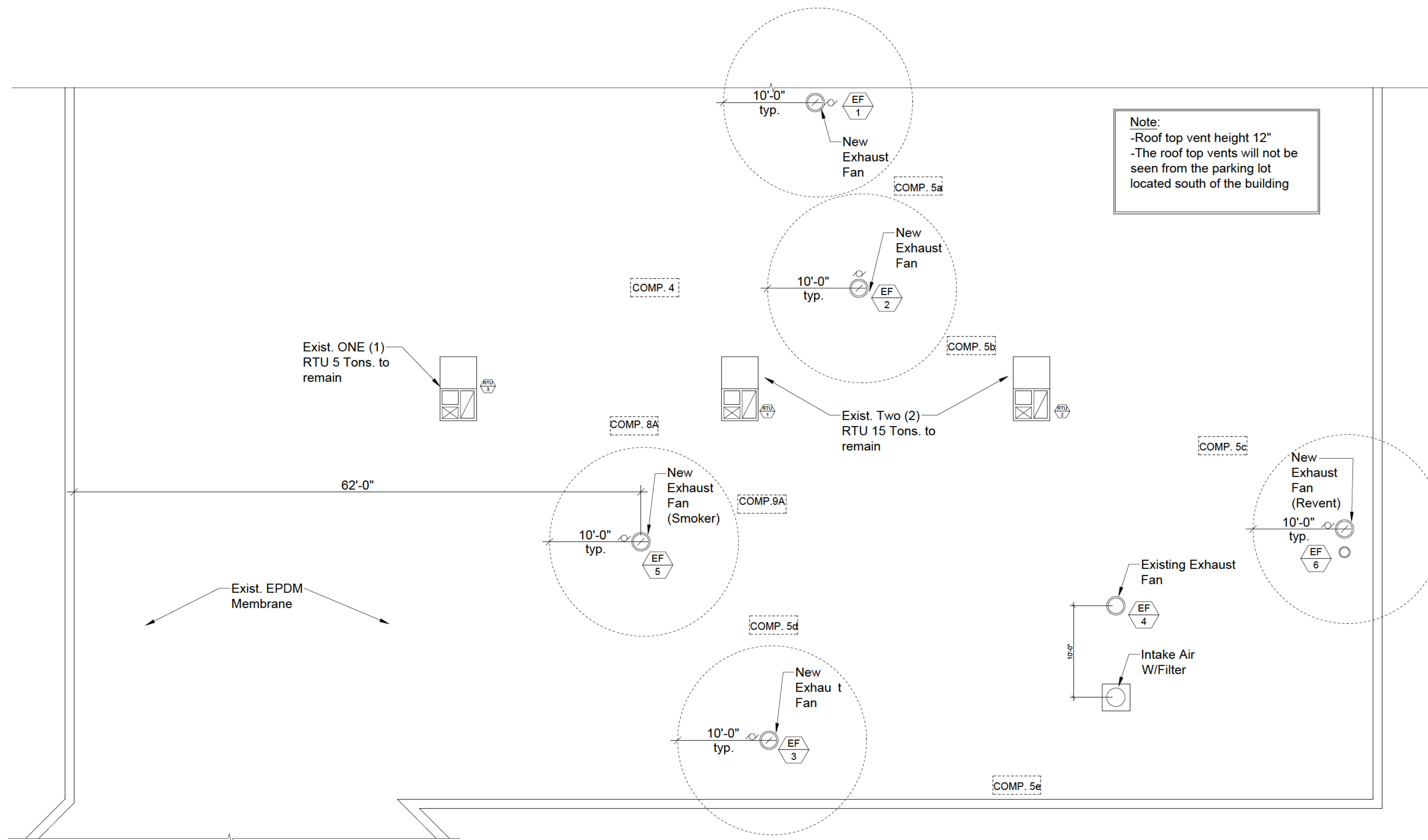


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Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

No.	02-19-25	Issued for Permit
Date:	06-09-25	Revised per Building Department Comments
	06-23-25	Revised per Building Department Comments
	07-02-25	Revised per Building Department Comments

SEFG No.	124193	SHEET:	M1
Drawn:	MAV		
Checked:	S.E.F.G.		
Date:	02-19-25	Sheet 1 of 1	

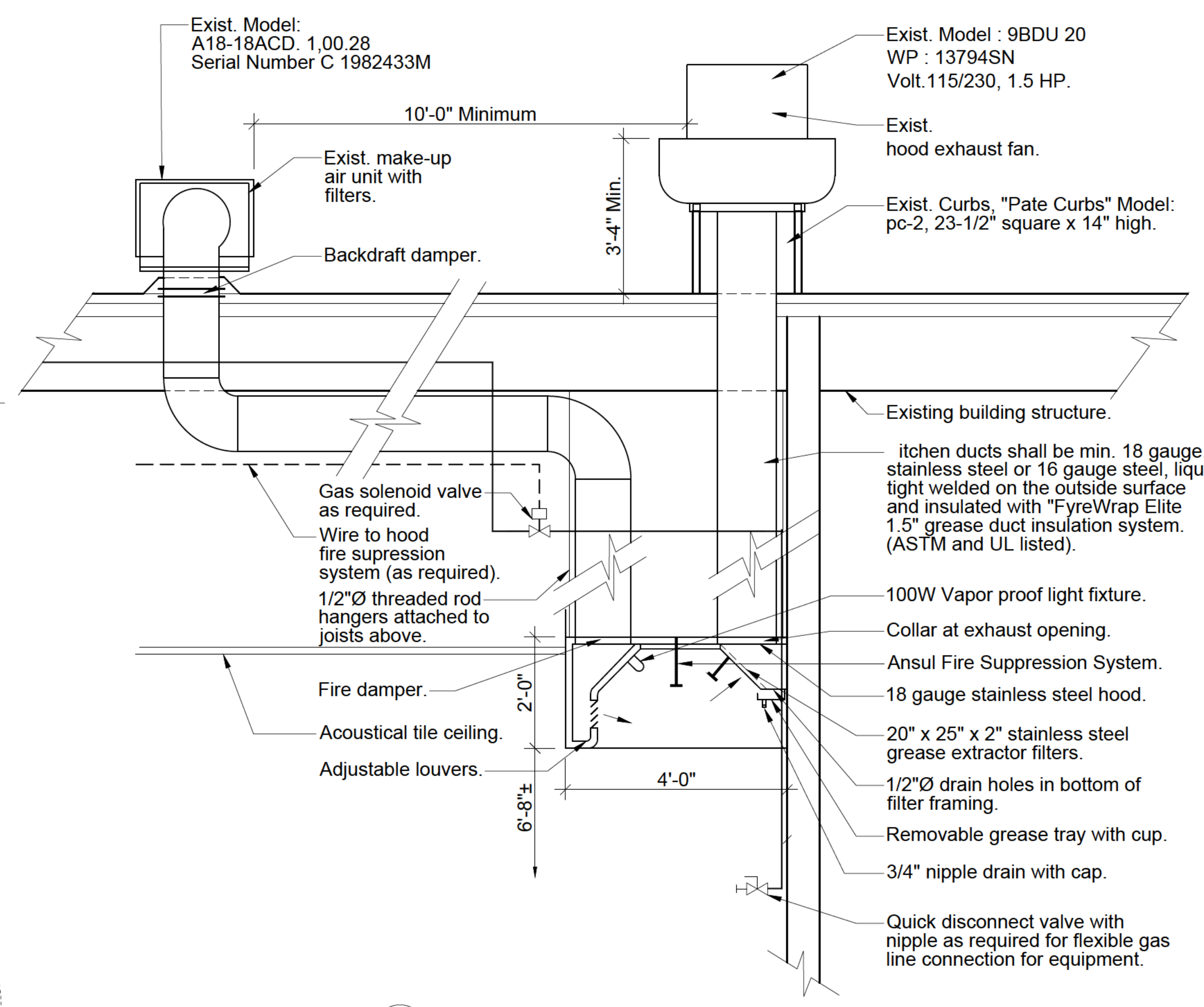


Note:
 -Roof top vent height 12"
 -The roof top vents will not be seen from the parking lot located south of the building

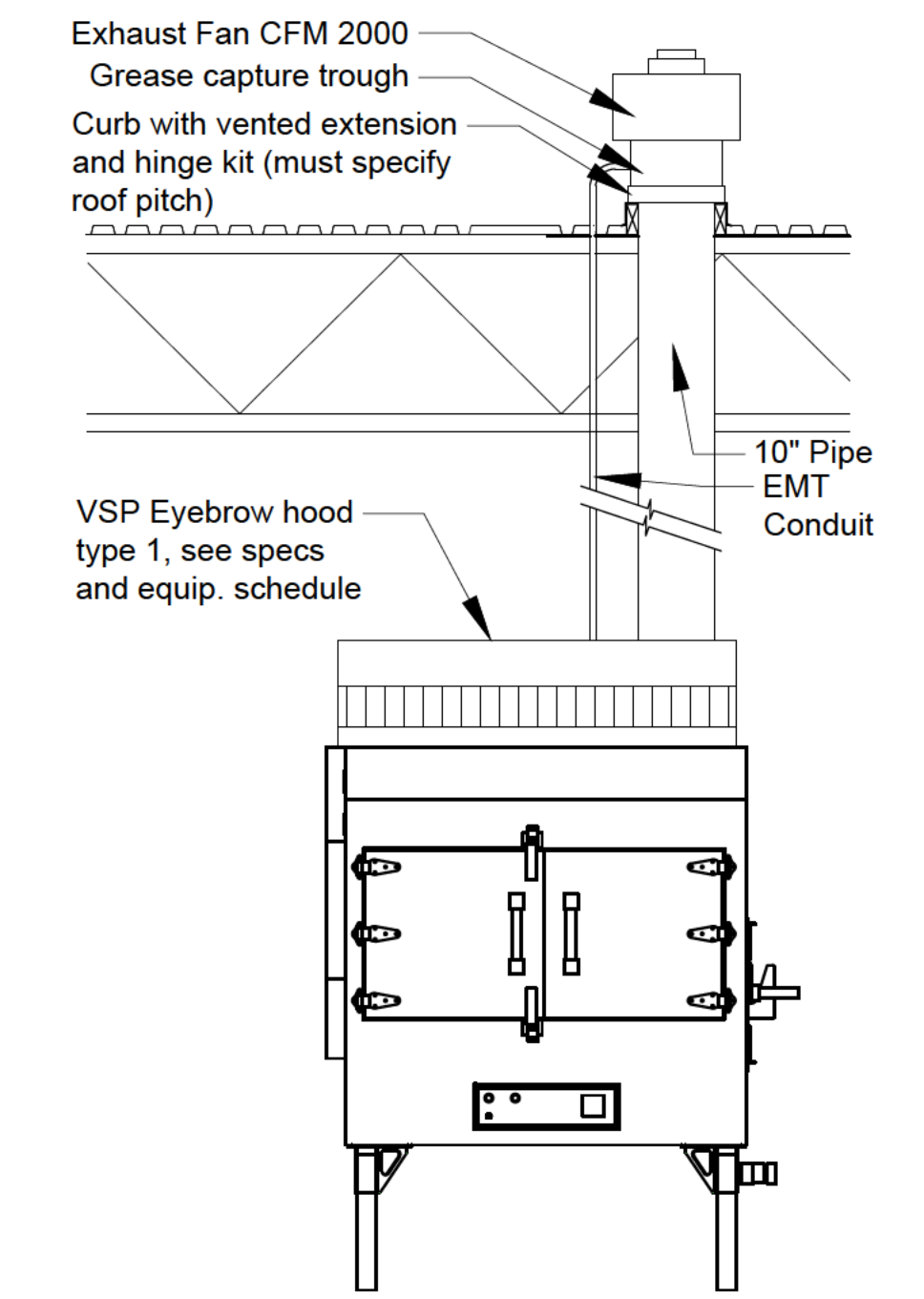
Roof Plan
 Scale: 1/8" = 1'-0"
 North ↑

HVAC EQUIPMENT SCHEDULE											
Tag	Description	Manufacturer	Manufacturer No.	Tons	CFM	Volts	Amps.	Fuse	BTU Input	BTU Output	Remarks
RTU-1	Exist. Roof Top Unit		ZLG14F2C3AA1A111A3	12.5		208 / 230			250,000	200,000	Existing to Remain
RTU-2	Exist. Roof Top Unit		ZLG14F2C3AA1A111A3	12.5		208 / 230			250,000	200,000	Existing to Remain
RTU-3	Exist. Roof Top Unit		ZE060H12A2A1AA1A4	5.0		208 / 230			125,000		Existing to Remain
EF-1	New Exhaust Fan	Broan (or Eq.)			150						New EF - Toilet 104
EF-2	New Exhaust Fan	Broan (or Eq.)			150						New EF - Toilet 105
EF-3	New Exhaust Fan	Broan (or Eq.)			150						New EF - Toilet 111
EF-4	Exist. Exhaust Fan		9BDU 20			115 / 230					Existing to Remain
EF-5	New Exhaust Fan	Broan (or Eq.)			2,100						New EF - Equipment 10 (See A-4)
EF-6	New Exhaust Fan	Broan (or Eq.)			2,100						New EF - Equipment 35 (See A-4)

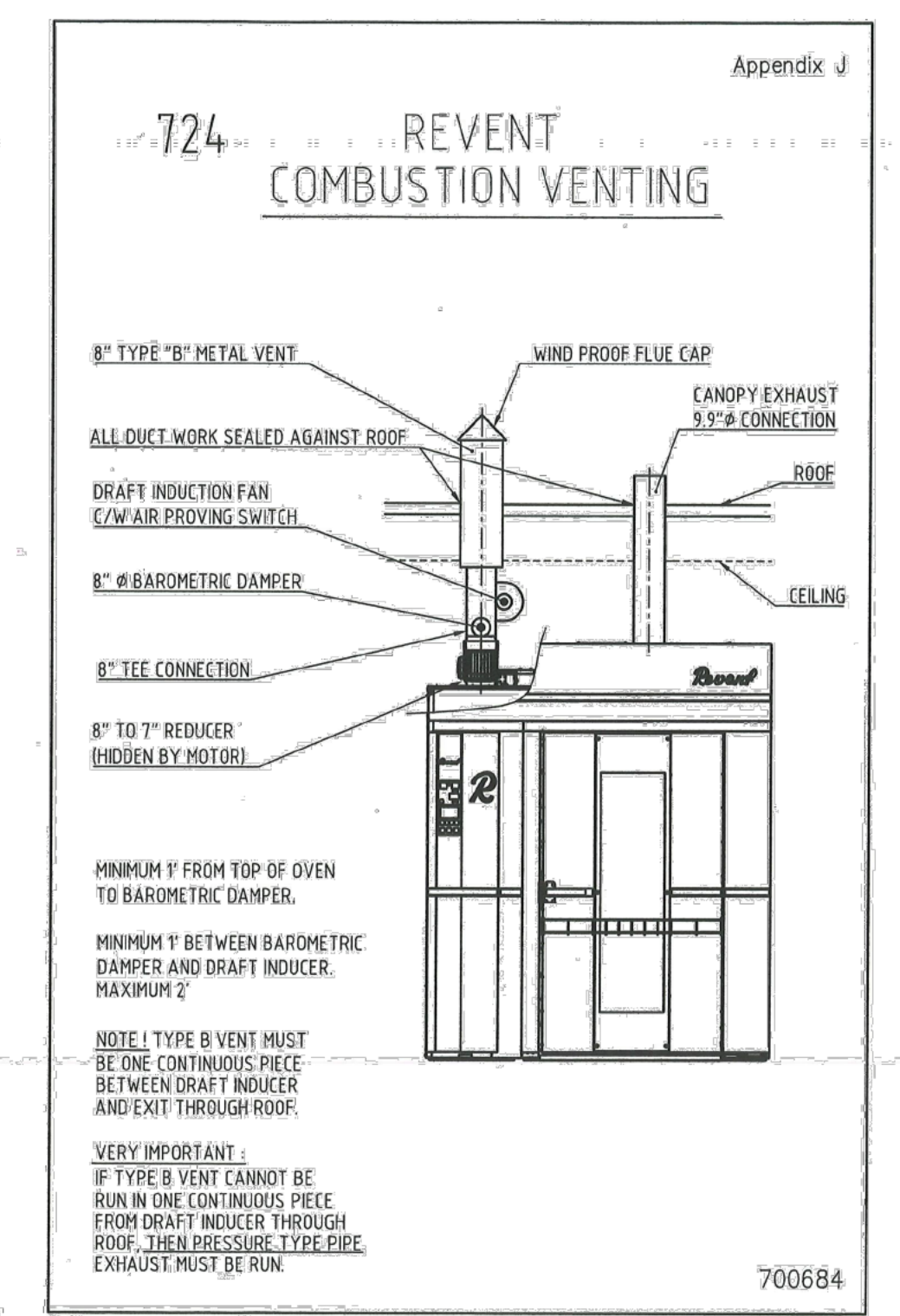
Note: Compressor notes on ceiling plan refers to compressor for equipment number listed on sheet A-4



1 Existing hood Detail @ Kitchen
 Scale: 1/2" = 1'-0"



2 Vent Hood Type 1 Detail @ Smoker Equipment
 Scale: 1/2" = 1'-0"



3 Vent Detail @ Revent Equipment
 Not to Scale

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.

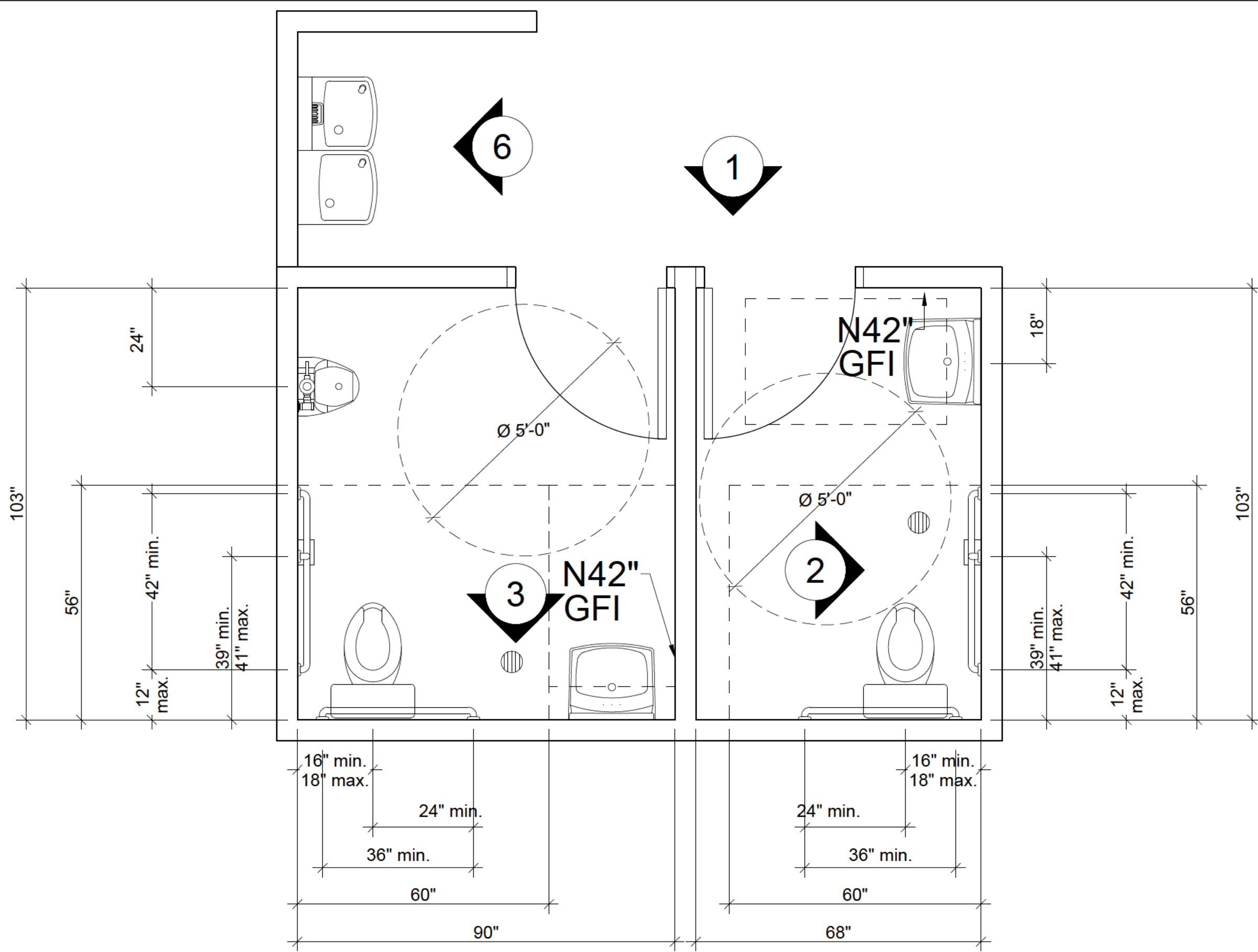


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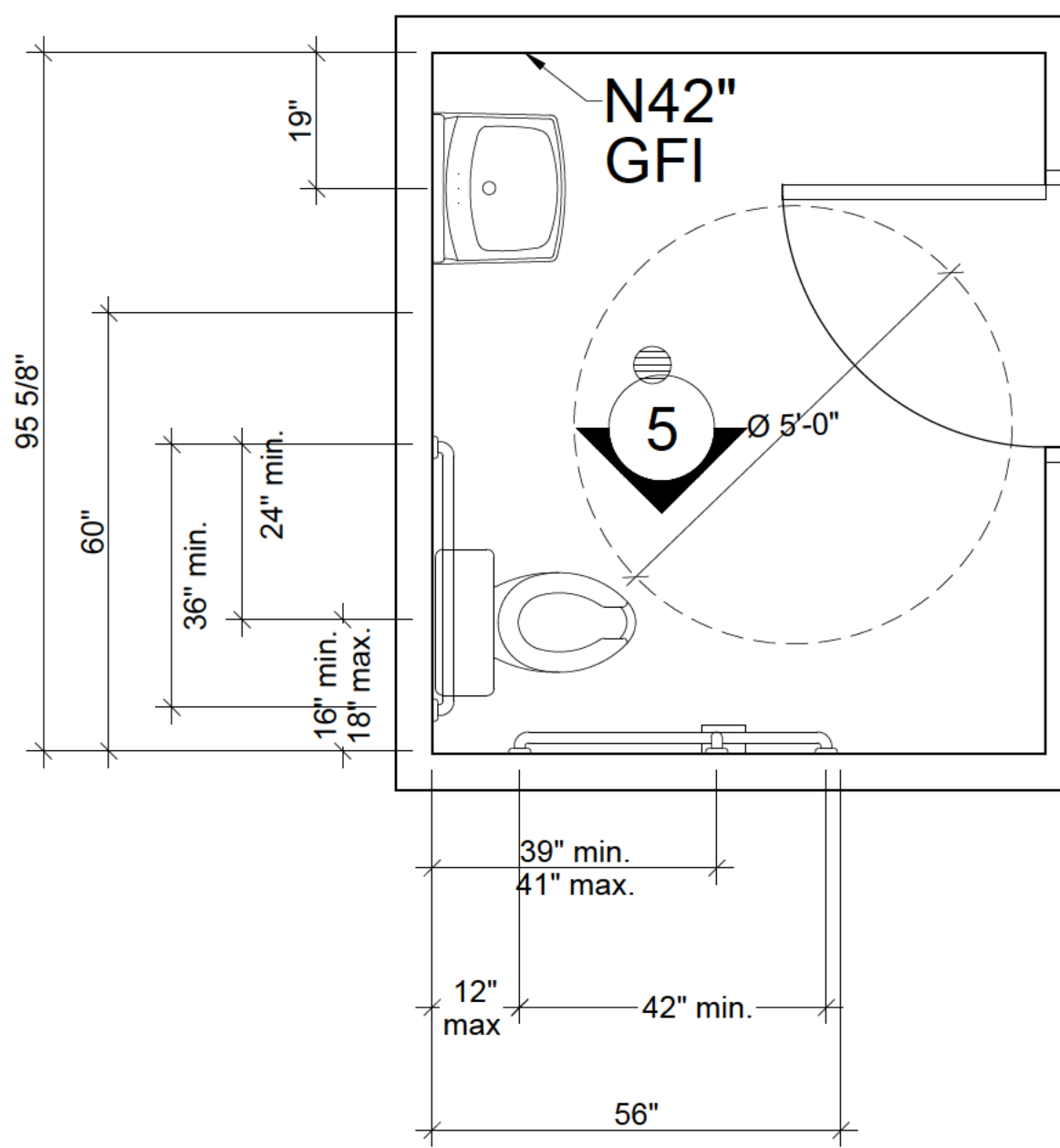
No.	02-19-25	Issued for Permit
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	06-23-25	Revised per Building Department Comments
	07-08-25	Revised per Building Department Comments

SEFG No. 124193
 Drawn: MAV
 Checked: S.E.F.G.
 Date: 02-19-25
 SHEET: **M2**
 Sheet 1 of 1



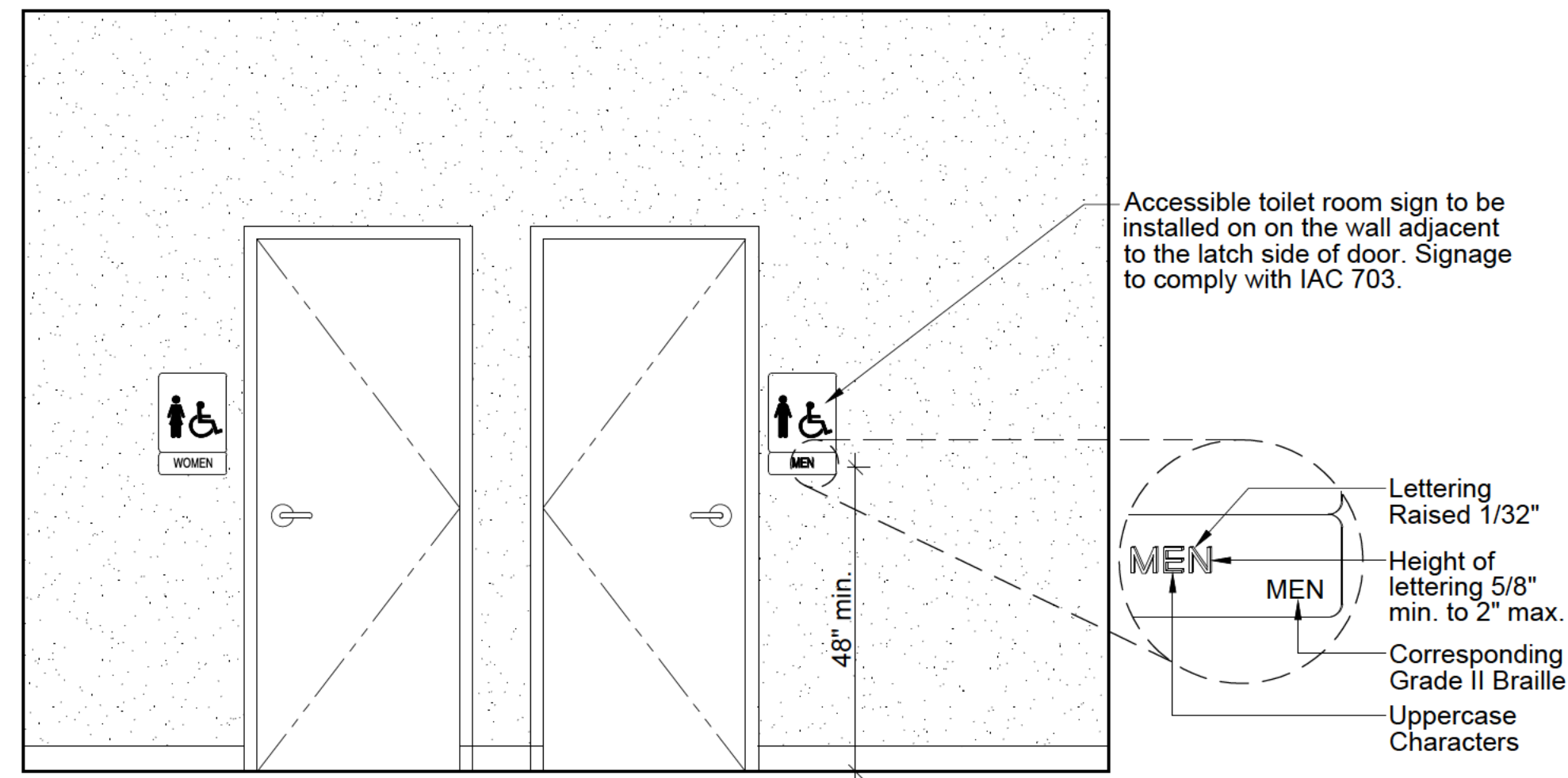
Men's / Women's Toilet Rm. Plan

Scale: 1/2" = 1'-0"



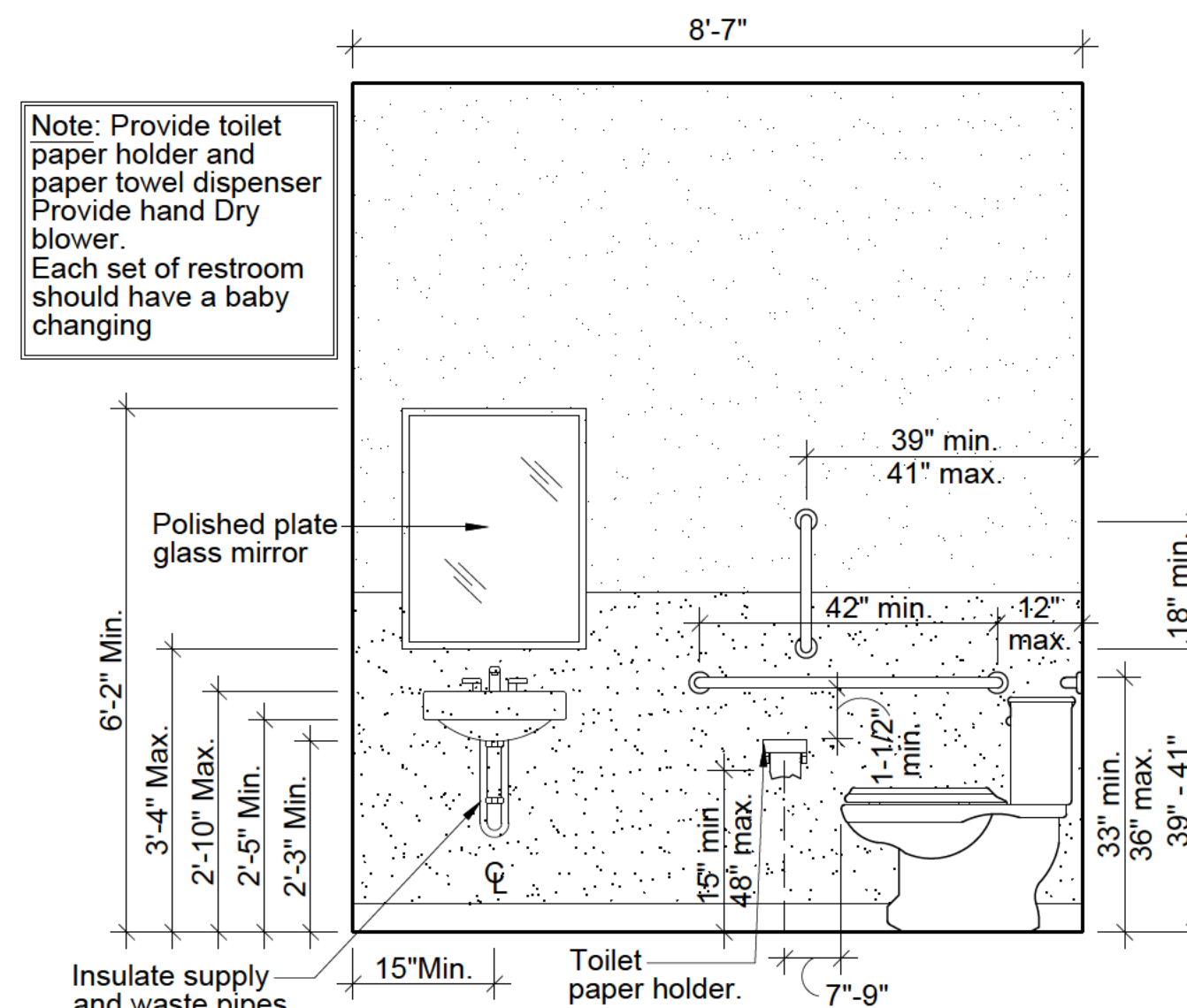
All Gender Toilet Rm. Plan

Scale: 1/2" = 1'-0"



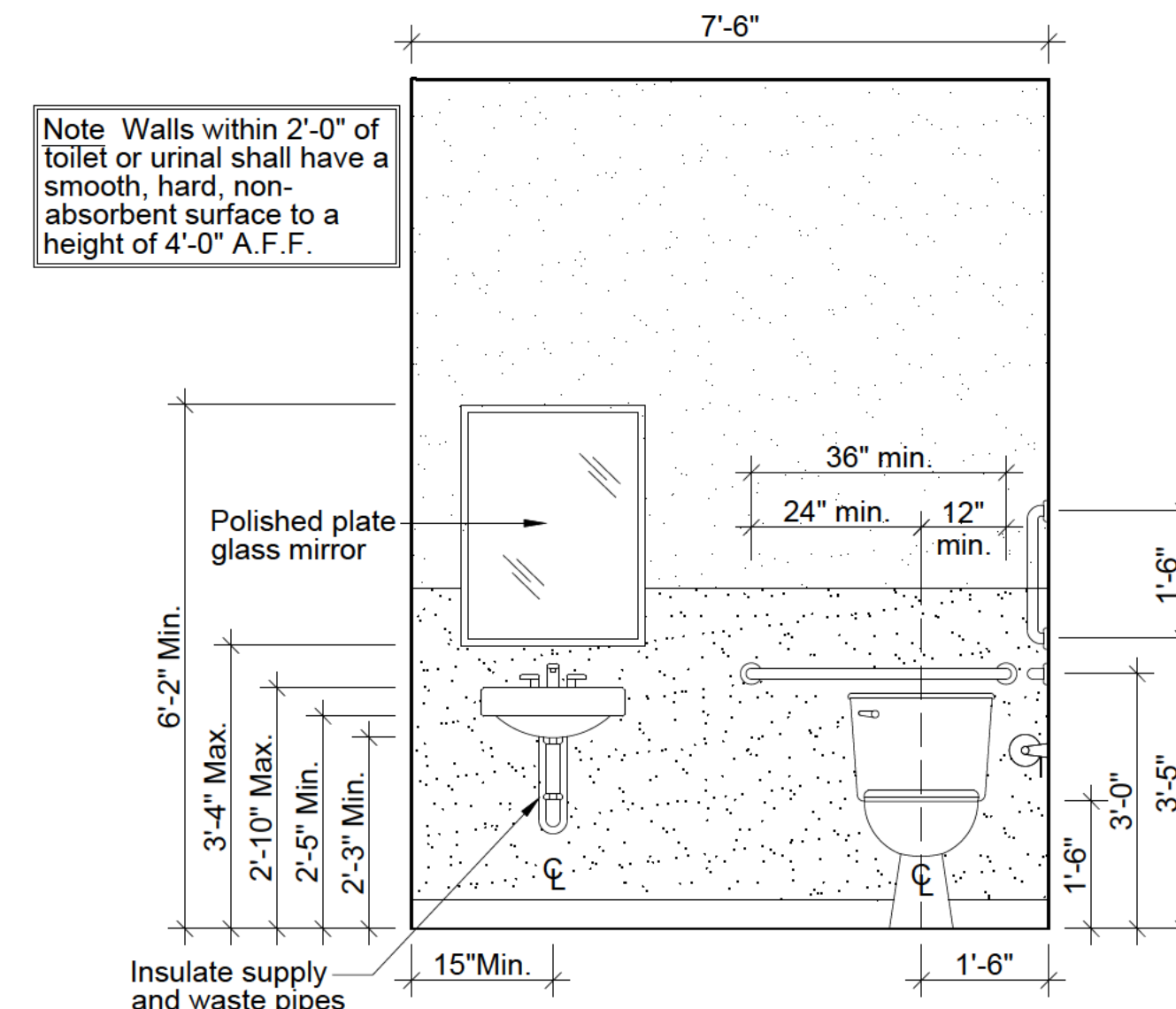
1 Interior Elevation

Scale: 1/2" = 1'-0"



2 Interior Elevation

Scale: 1/2" = 1'-0"



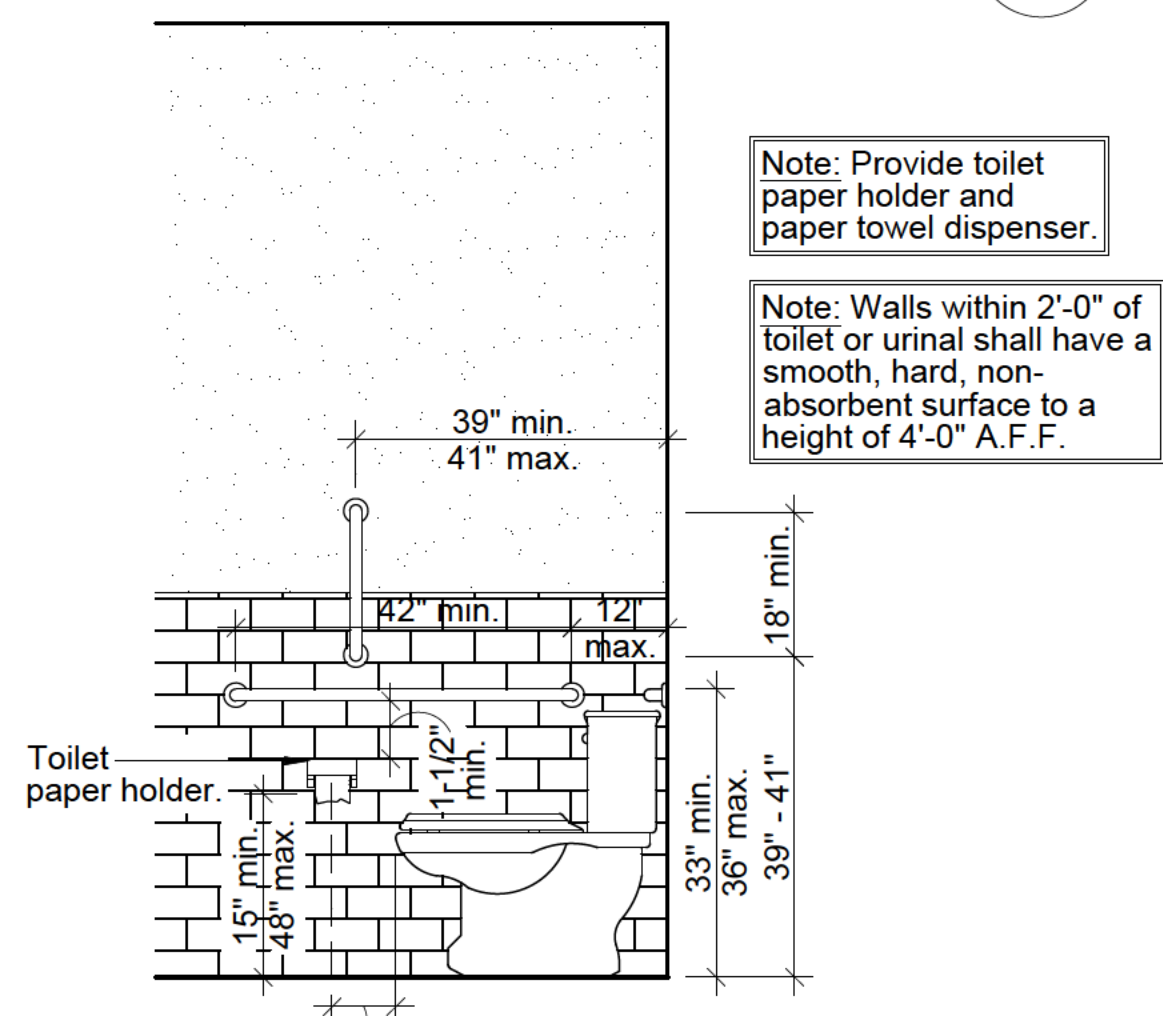
3 Interior Elevation

Scale: 1/2" = 1'-0"



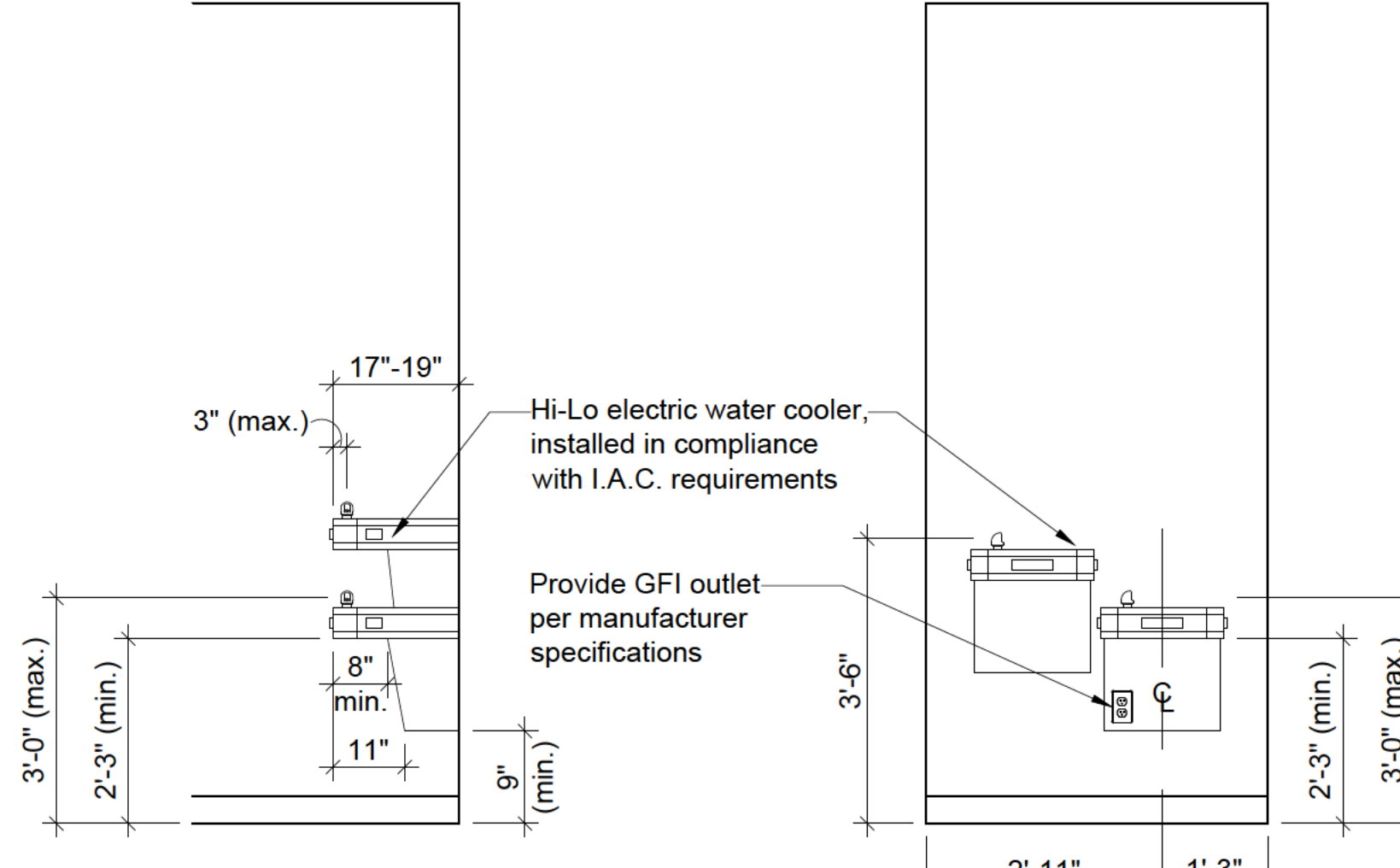
4 Interior Elevation

Scale: 1/2" = 1'-0"



5 Interior Elevation

Scale: 1/2" = 1'-0"



6 Interior Elevation

Scale: 1/2" = 1'-0"

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4	07-06-25	Revised per Building Department Comments	Revised per Building Department Comments

SEFG No. 124193	SHEET: P1
Drawn: MAV	
Checked: S.E.F.G.	
Date: 02-19-25	Sheet 1 of 4

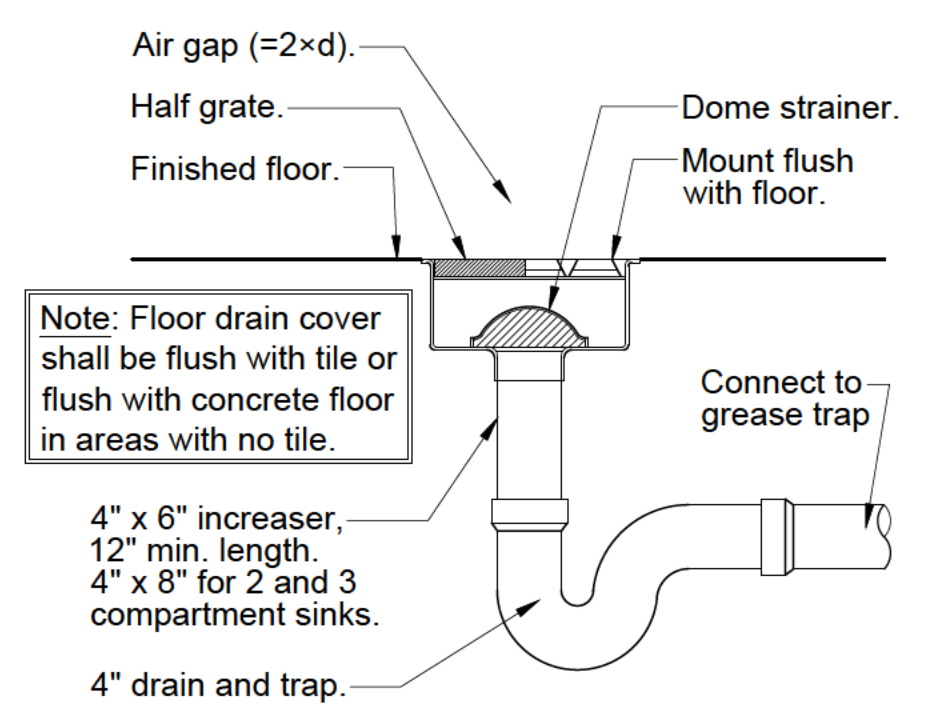


NEW GREASE TRAP SIZE CALCULATION (PER IL Plumbing Code)					
Item	Size	Volume	Gallons	Factor	GPM
3-Compartment Sink	18"W x 24"D x 14"H x 3	18144	78.55	0.50	39.27
3-Compartment Sink	18"W x 24"D x 14"H x 3	18144	78.55	0.50	39.27
Mop Sink	22"W x 22"D x 10"H	4840	20.95	0.50	10.48
Prep Sink	18"W x 18"D x 12"H	3888	16.83	0.50	8.42
Minimum GPM Capacity of Grease Trap					97.44
Existing exterior grease trap 1000 GPM capacity.					

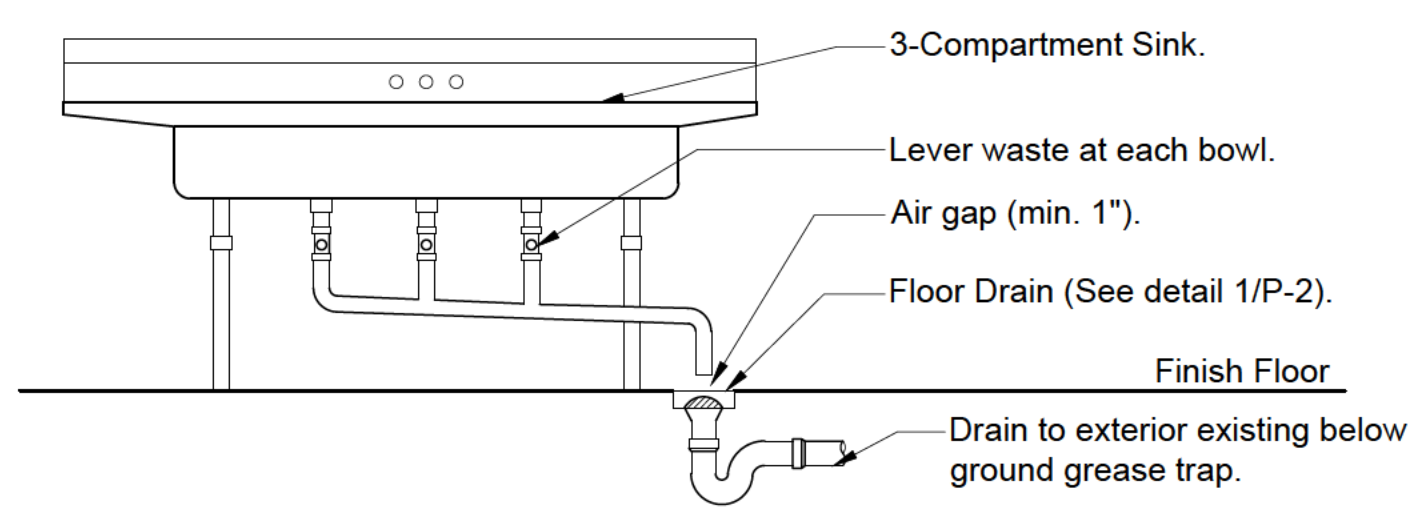
General Notes:

- We will have the plumbing inspector field verify, all new and replaced plumbing fixtures labeled water sense product.
- Under lavatories and sinks shall be insulated or otherwise configured to protect against contact, there shall be no sharp or abrasive surfaces under lavatories and sinks.
- Each ice machine, coffee, tea, juice, or similar beverage dispenser supplied with potable water, to be provided with an approved back-flow preventer device appropriate for each type of machine.
- Back flow preventer (rpz) shall be installed in a dedicated water supply line where chemical units and kitchen equipment or appliances require potable water. Back-flow devices shall be tested and approved by a cross connection control device inspector (cccdi) before initial operation.
- All kitchen faucet hand-held sprayers shall have a watts N9 series dual check valve vacuum breaker (or equal) installed after the control valve.
- The installation of the water heater, includes each safety device, thermal expansion tank, vacuum relief valve, shut-off valve location, t&p valve, heat traps and the first eight feet (8') of the hot and cold supply pipes insulated, indicate the specifics of the discharge piping for the temperature and pressure relief valve and the proximity of the required floor drain or approved receptor for each shall be installed.
- New domestic water piping shall be thermally insulated in accordance with table C403.12.3
- For piping smaller than one (1) and one half (1 1/2) inches and located in partitions within conditioned spaces, the insulation thickness can be reduced by one (1) inch but that reduction can not reduce the thickness to less than one (1) inch.
- New 4" sanitary sewer connecting to the exterior grease trap
- New 3" Vent Line
- Lav. faucet for public use shall be provided with an automatic safety water-mixing device, this device shall be calibrated max setting of one hundred ten degrees Fahrenheit (110)
- Drainage and vent system shall be pressure tested with water.

PLUMBING FIXTURE SCHEDULE						
Item	Qty.	Make	Color	W.S.F.	Total W.S.F.	Remarks
Toilet (Flush Tank)	3	American Standard (or equal)	White	3	9.0	New
Urinal	1	American Standard (or equal)	White	2	2.0	New
Sink	3	Elkay (or equal)	White	2	6.0	New
Mop Sink	1	Existing	White	3	3.0	Exist.
Hand Sink	4	Regency	Grey	3	12.0	New
Drinking Fountain	1	Elkay (or equal)	Grey	5	5.0	New
3 Comp Sink	2	Regency	Grey	3	6.0	New
				Total:	43.0	



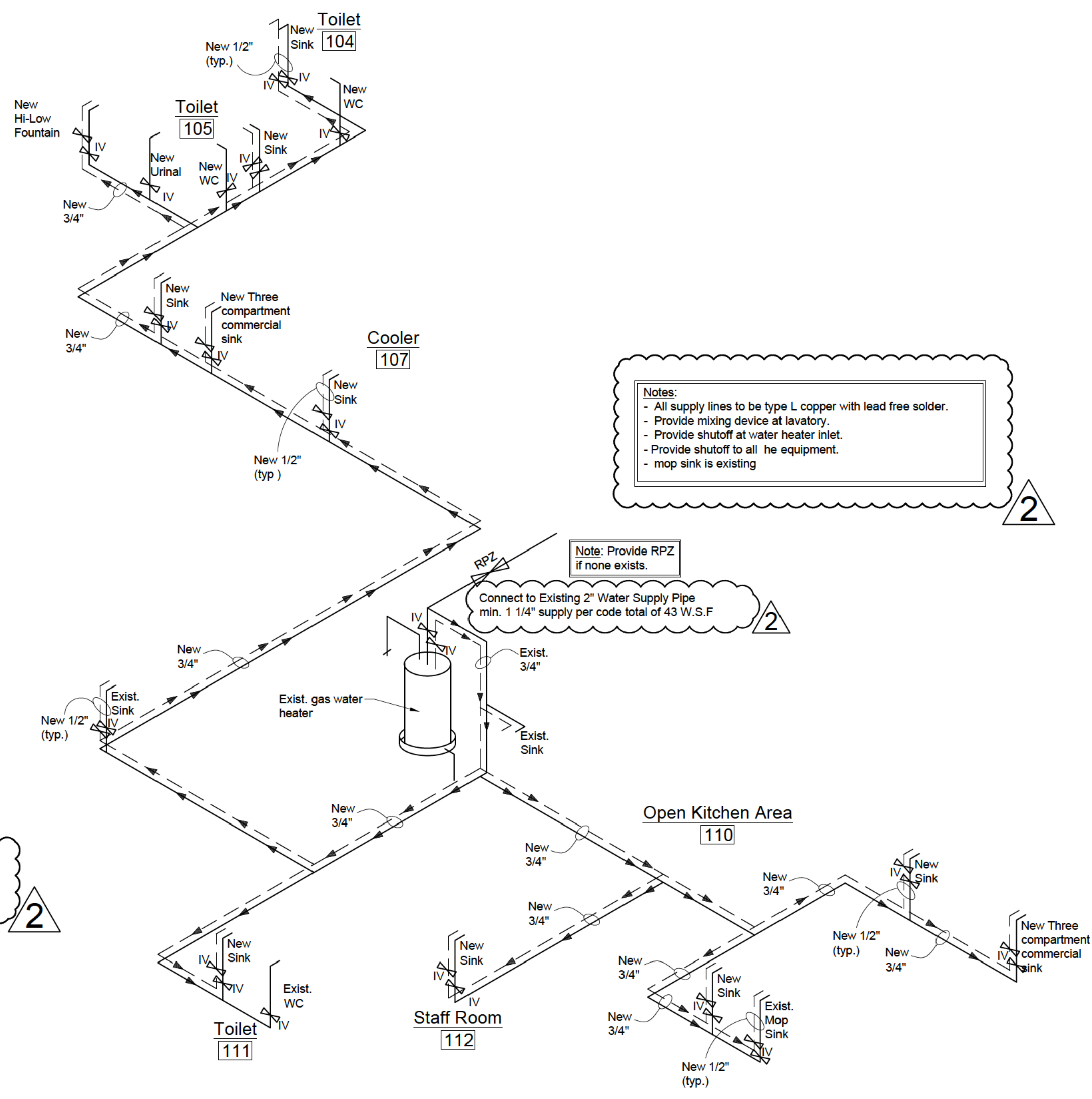
1 Detail Floor Drain
Scale: 1" = 1'-0"



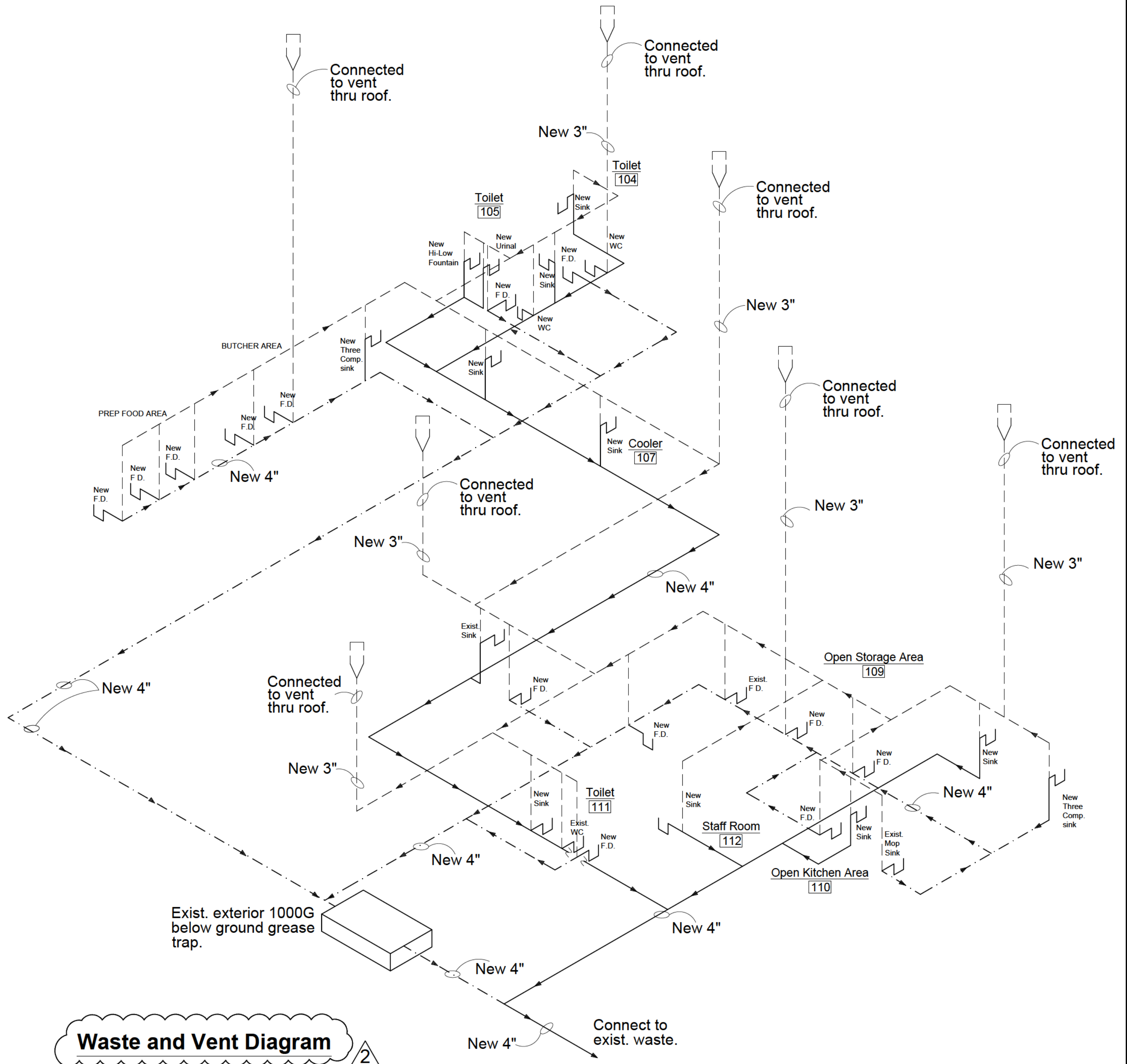
2 Detail 3- Comp Sink
Scale: 1" = 1'-0"

Notes:

- Tenant to approve all fixtures and appliances prior to ordering.
- Per Code total of 43 W.S.F the meter size minimum of 1 1/4"



Supply Riser Diagram



Waste and Vent Diagram

Notes:

- All supply lines to be type L copper with lead free solder.
- Provide mixing device at lavatory.
- Provide shutoff at water heater inlet.
- Provide shutoff to all the equipment.
- mop sink is existing

Plumbing Diagrams
Not to Scale

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.



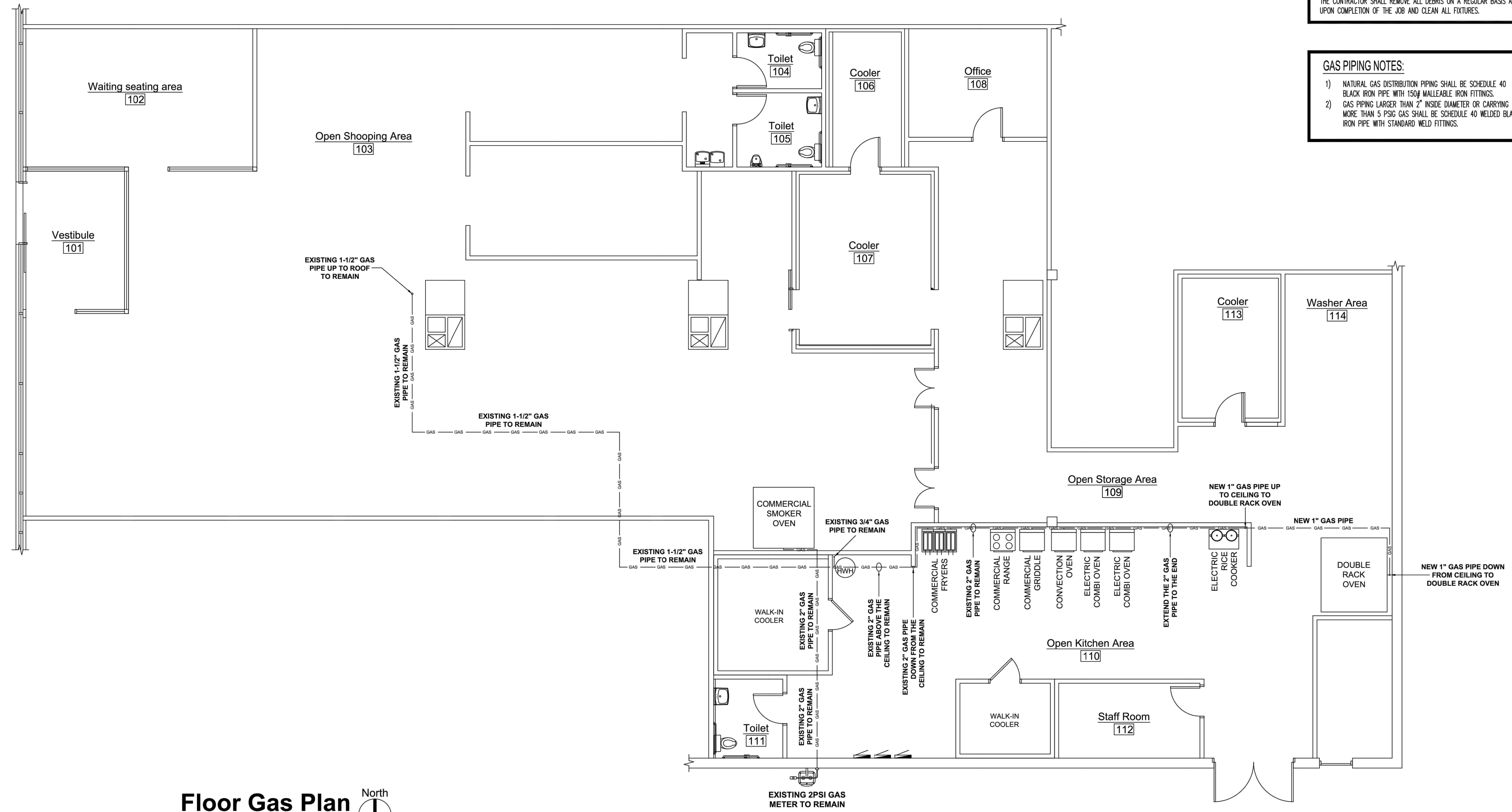
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BUTCHER SHOP AND MARKET
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Interior Renovation

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4	07-02-25	Revised per Building Department Comments	Revised per Building Department Comments

SEFG No. 124193
Drawn: MAV
Checked: S.E.F.G.
Date: 02-19-25
SHEET: P2
Sheet 2 of 4



Floor Gas Plan North
 Scale: 3/16" = 1'-0"

GENERAL PLUMBING NOTES:
 THE GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS ISSUED BY THE ARCHITECT SHALL GOVERN WHERE APPLICABLE.
 THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL VERIFY EXISTING SITE CONDITIONS AT THE JOB SITE BEFORE SUBMITTING BID. FAILURE TO RECOGNIZE WORK REQUIRED SHALL BE AT THE EXPENSE OF THIS CONTRACTOR. NO CONSIDERATION SHALL BE GIVEN FOR ADDITIONAL COMPENSATION AFTER LETTING OF BIDS.
 THE CONTRACTOR SHALL CONSULT WITH THE OWNER, ARCHITECT OR M.E.P. ENGINEER REGARDING ANY DEFICIENCIES OR ISSUES BEFORE STARTING ANY DEMOLITION OR NEW WORK.
 THE CONTRACTOR SHALL REMOVE ALL DEBRIS ON A REGULAR BASIS AND UPON COMPLETION OF THE JOB AND CLEAN ALL FIXTURES.

GAS PIPING NOTES:
 1) NATURAL GAS DISTRIBUTION PIPING SHALL BE SCHEDULE 40 BLACK IRON PIPE WITH 150# MALLEABLE IRON FITTINGS.
 2) GAS PIPING LARGER THAN 2" INSIDE DIAMETER OR CARRYING MORE THAN 5 PSIG GAS SHALL BE SCHEDULE 40 WELDED BLACK IRON PIPE WITH STANDARD WELD FITTINGS.

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No.	Issued:	Issued for Permit
1	05-15-25	

SEFG No.	SHEET:
124193	
Drawn:	
PRA	
Checked:	
RKA	P3
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05-15-25	Sheet 1 of 1

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 Architecture/Design
 105 Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9881
 Phone: (847) 715-9591

GENERAL PLUMBING NOTES:

THE GENERAL CONDITIONS AND SUPPLEMENTAL GENERAL CONDITIONS ISSUED BY THE ARCHITECT SHALL GOVERN WHERE APPLICABLE.

THE CONTRACTOR SHALL THOROUGHLY FAMILIARIZE HIMSELF WITH THE PLANS AND SHALL VERIFY EXISTING SITE CONDITIONS AT THE JOB SITE BEFORE SUBMITTING BID. FAILURE TO RECOGNIZE WORK REQUIRED SHALL BE AT THE EXPENSE OF THIS CONTRACTOR. NO CONSIDERATION SHALL BE GIVEN FOR ADDITIONAL COMPENSATION AFTER LETTING OF BIDS.

THE CONTRACTOR SHALL CONSULT WITH THE OWNER, ARCHITECT OR M.E.P. ENGINEER REGARDING ANY DEFICIENCIES OR ISSUES BEFORE STARTING ANY DEMOLITION OR NEW WORK.

THE CONTRACTOR SHALL REMOVE ALL DEBRIS ON A REGULAR BASIS AND UPON COMPLETION OF THE JOB AND CLEAN ALL FIXTURES.

GAS PIPING NOTES:

- NATURAL GAS DISTRIBUTION PIPING SHALL BE SCHEDULE 40 BLACK IRON PIPE WITH 150# MALLEABLE IRON FITTINGS.
- GAS PIPING LARGER THAN 2" INSIDE DIAMETER OR CARRYING MORE THAN 5 PSIG GAS SHALL BE SCHEDULE 40 WELDED BLACK IRON PIPE WITH STANDARD WELD FITTINGS.

PIPING LEGEND

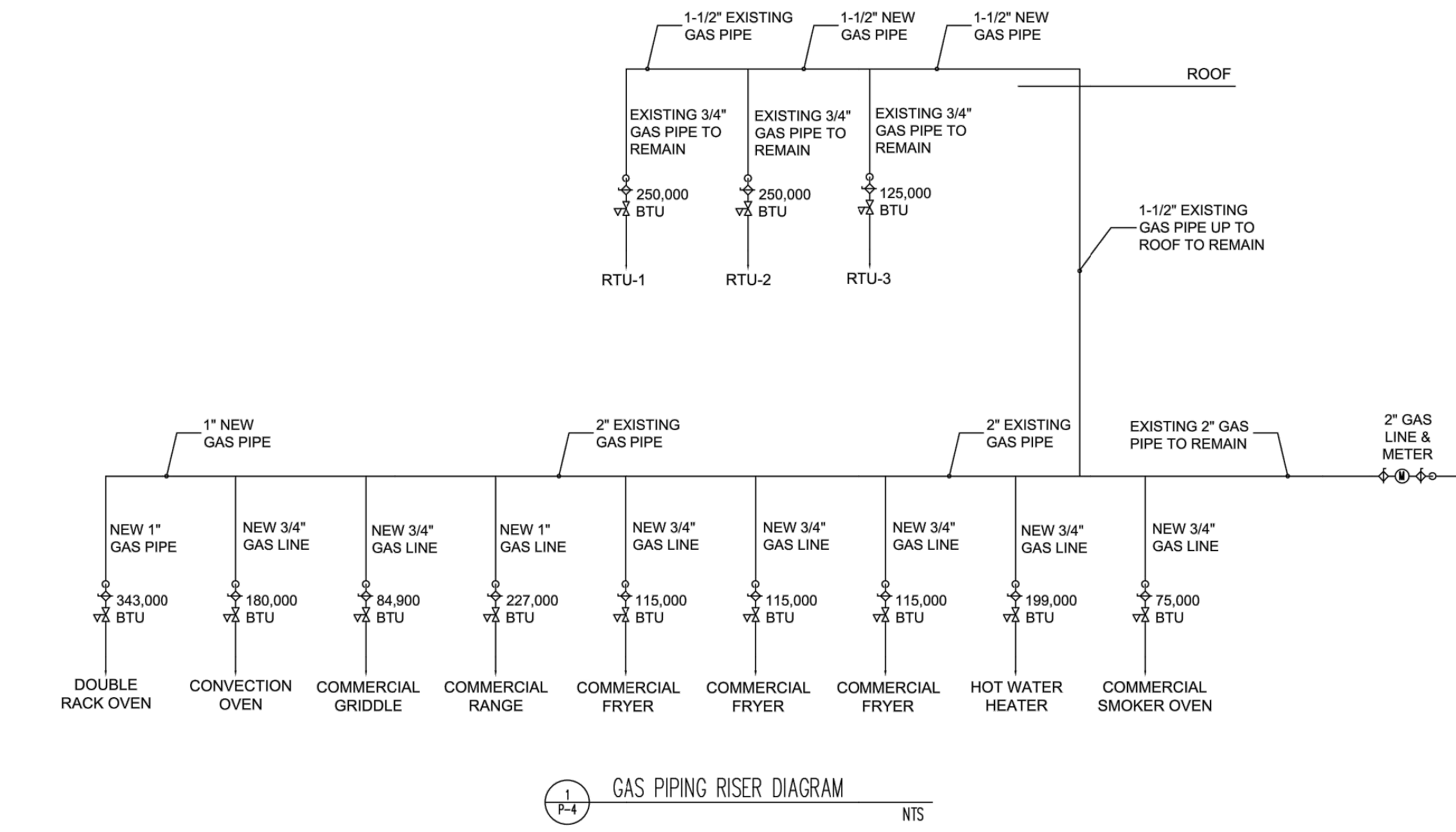
- BALL VALVE
- BUTTERFLY VALVE
- GLOBE VALVE
- GATE VALVE
- DRAIN VALVE
- MANUAL AIR VENT.
- GRISWOLD FLOW CONTROL VALVE
- TWO-WAY CONTROL VALVE
- PNEUMATIC BYPASS VALVE
- TRIPLE DUTY VALVE
- CHECK VALVE
- GAUGE COCK
- BALANCING VALVE
- GAS COCK
- GAS PRESSURE REGULATOR
- GAS SILENCER VALVE W/HI-LO FIRE
- RELIEF VALVE
- PETE'S PLUG
- THERMOMETER W/VELL
- PADDLE TYPE FLOW SWITCH
- DIFFERENTIAL PRESSURE FLOW SWITCH
- DIFFERENTIAL PRESSURE SENSOR
- PRESSURE GAUGE
- SENSOR WELL
- FLEXIBLE CONNECTOR
- STRAINER
- MALE HOSE CONNECTOR
- PIPING REDUCER
- PIPE ANCHOR
- PIPE GUIDE
- PIPE EXPANSION LOOP
- EXPANSION JOINT
- UNION
- FLOW ARROW

NOTE:

- THIS IS A GENERAL SYMBOL LIST THEREFORE SOME ITEMS MAY NOT DIRECTLY APPLY TO THIS PROJECT AND DRAWINGS.
- EXISTING PIPING SHOWN WITH THIN LINE WEIGHT. NEW PIPING SHOWN WITH THICK LINE WEIGHT.
- DISREGARD SYMBOLS AND ABBREVIATIONS WHICH DO NOT APPLY TO THIS PROJECT.

BIDDING NOTE

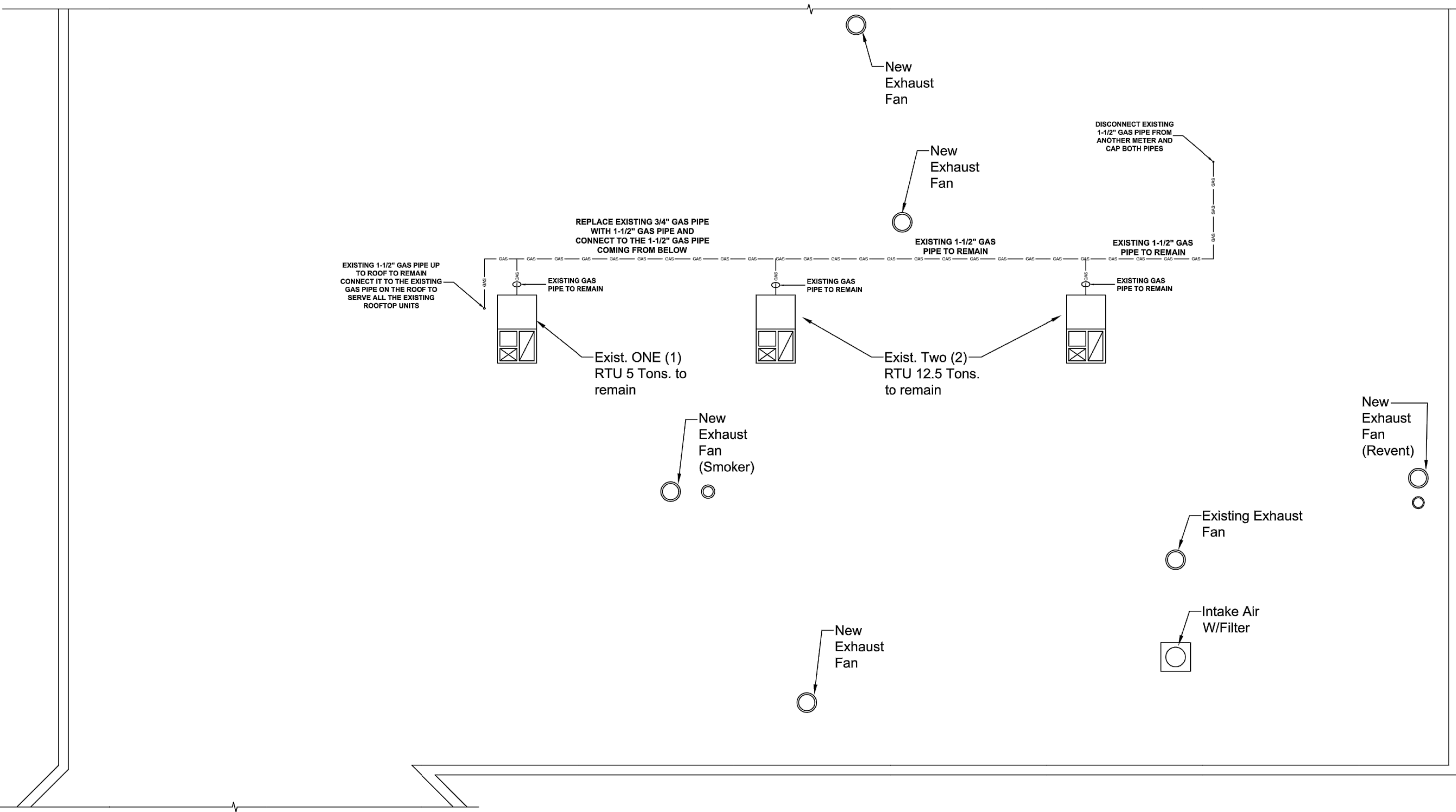
UNLESS INDICATED ON ARCHITECTURAL DRAWINGS, THIS CONTRACTOR SHALL BE RESPONSIBLE AND PAY FOR ALL CORING, CUTTING, PATCHING, REPAIRING, REFINISHING AND REMOVAL/REPLACEMENT OF NEW OR EXISTING BUILDING CONSTRUCTION (INCLUDING BUT NOT LIMITED TO: CEILINGS, CEILING TILES, LIGHTS GRID, WALLS, FLOORS AND ROOF) REQUIRED TO ACCOMMODATE OR REMOVAL OF THEIR WORK. ALL PATCHING, REPAIRING AND REFINISHING WORK SHALL BE PERFORMED BY THOSE REGULARLY INVOLVED IN THAT TRADE AND SHALL MATCH THE ADJACENT CONSTRUCTION AS CLOSELY AS POSSIBLE. CARE SHALL BE TAKEN SO AS NOT TO DAMAGE ANY EXISTING BUILDING CONSTRUCTION OR ITEMS THAT ARE TO REMAIN. ANY EXISTING FINISHES THAT ARE DAMAGED DURING THE INSTALLATION OF NEW WORK OR REMOVAL OF EXISTING WORK SHALL BE REPAIRED, REPLACED AND PAID FOR BY THE INSTALLING CONTRACTOR, TO THE SATISFACTION OF THE ARCHITECT AND OWNER.



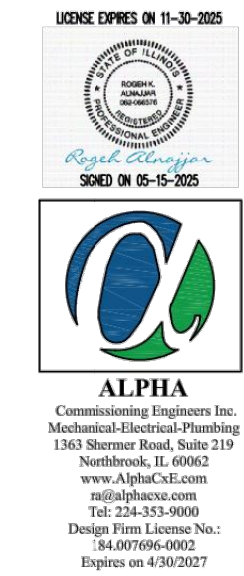
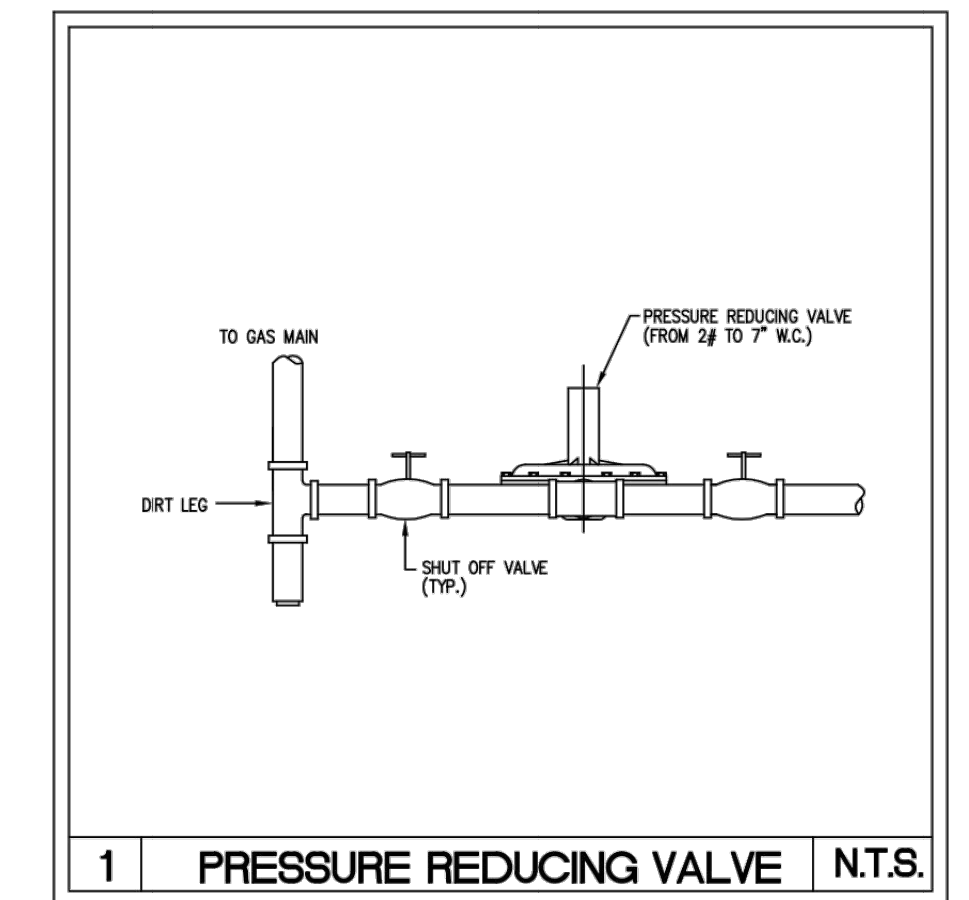
NATURAL GAS LOAD CALCULATION

TAG	DESCRIPTION	INPUT (MBH)	QTY	TOTAL INPUT (MBH)	C.F.H.
RTU-1	ROOFTOP UNIT	250	1	250	245
RTU-2	ROOFTOP UNIT	250	1	250	245
RTU-3	ROOFTOP UNIT	125	1	125	123
DRO	DOUBLE RACK OVEN	343	1	343	337
CO	CONVECTION OVEN	180	1	180	177
CG	COMMERCIAL GRIDDLE	85	1	85	84
CR	COMMERCIAL RANGE	227	1	227	223
CF	COMMERCIAL FRYER	115	3	345	338
HWH	HOT WATER HEATER	199	1	199	195
CSO	COMMERCIAL SMOKER OVEN	75	1	75	74
				TOTAL	2,041

MBH = 1,000'S OF BTU'S PER HOUR, C.F.H. = CUBIC FEET PER HOUR



Roof Gas Plan North
 Scale: 1/8" = 1'-0"



Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

No.	Issued:	Issued for Permit
1	05-15-25	

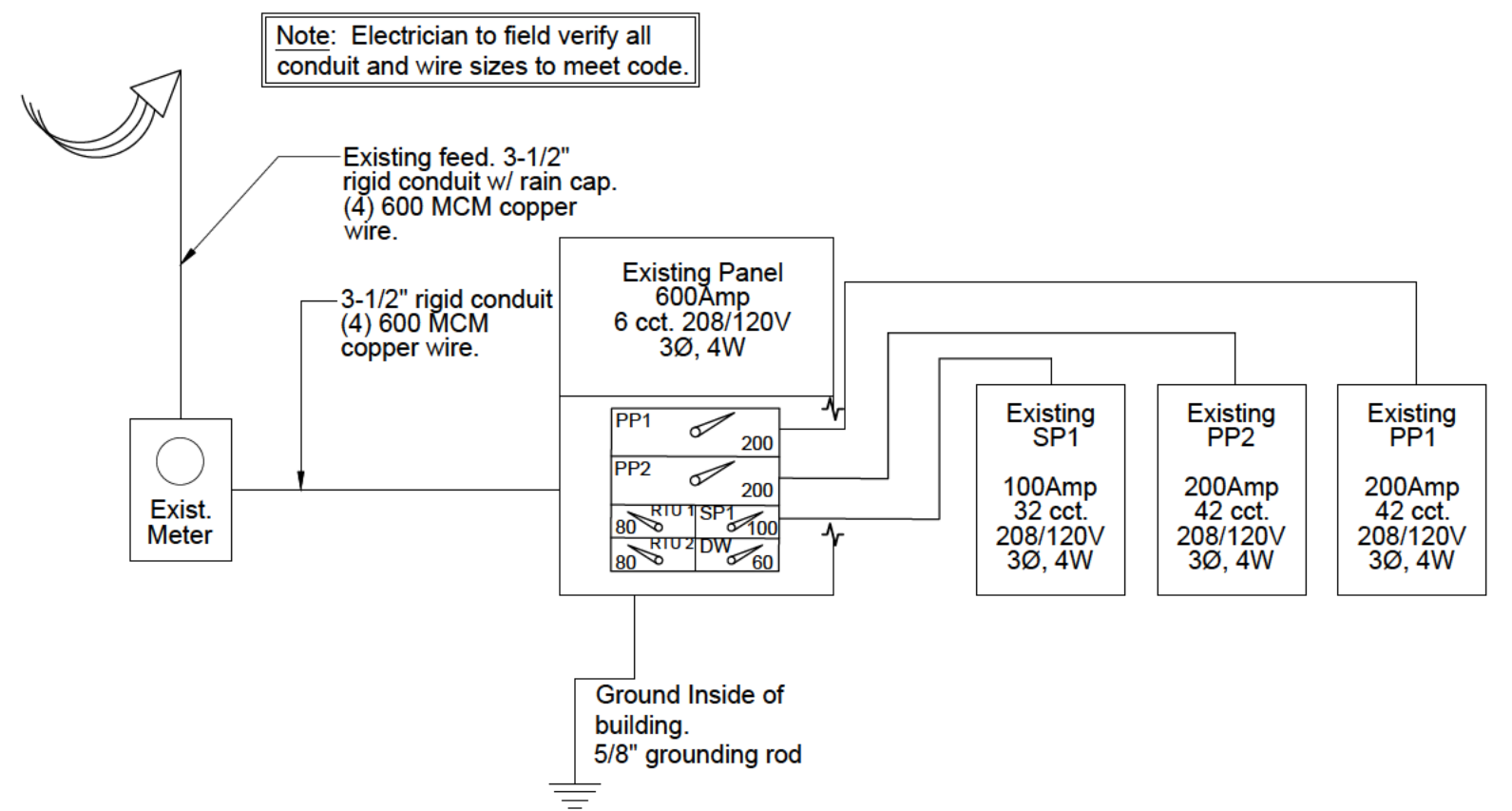
SEFG No. 124193
 Drawn: RKA
 Checked: RKA
 Date: 05-15-25
 SHEET: P4
 Sheet 1 of 1

ELECTRICAL (MDP) MAIN PANEL SCHEDULE													
Voltage: 208/120			Location: Open Space			Legend:							
Phase: 3			Mounting: Surface			L Lights							
Wire: 4			Panel Type: Circuit Breaker			R Receptacles							
Main: 600A			Fed From:			M Motors							
Rating:			Feeder:			E Equipment							
Ground Bar			Short Circuit:			S Spare							
100% Natural Bus			Rating:										
CCT. Number	Trip	Legend	Description	Load (VA)			CCT. Number	Trip	Legend	Description	Load (VA)		
				A	B	C					A	B	C
1	200A	-	PP1	20340	20083	18319	2	200A	-	PP2	23235	23250	23040
3	100A	-	SP1	4980	4978	4900	4	80A	-	Exist. RTU 1	7500	7500	7500
5	200A	-	Exist. RTU 2	7500	7500	7500	6	60A	-	DW937	5500	5500	5500
Sub Total:				32820	32561	30719	Sub Total:				36235	36250	36040
Sub Total:				32820	32561	30719	Sub Total:				69055	68811	66759
Calculated Load:				60391	60408	60345	Total:				181	KVA	

ELECTRICAL PANEL PP2 SCHEDULE													
Voltage: 208/120			Location: Open Space			Legend:							
Phase: 3			Mounting: Surface			L Lights							
Wire: 4			Panel Type: Circuit Breaker			R Receptacles							
Main: 200A			Fed From:			M Motors							
Rating:			Feeder:			E Equipment							
Equipment Ground Bar			Short Circuit:			S Spare							
100% Natural Bus			Rating:										
CCT. Number	Trip	Legend	Description	Load (VA)			CCT. Number	Trip	Legend	Description	Load (VA)		
				A	B	C					A	B	C
1	20A	-	HOOD EX1	1020			2	20A	-	REVENT #35	1033		
3	20A	-	HOOD EX1		1020		4	20A	-	REVENT #35		1033	
5	20A	-	HOOD EX2			1020	6	20A	-	REVENT #35			1033
7	20A	-	HOOD EX2	1020			8	60A	-	ALTO20E #21	5667		
9	20A	-	MAKE UP AIR		615		10	60A	-	ALTO20E #21		5667	
11	20A	-	MAKE UP AIR			615	12	60A	-	ALTO20E #21			5667
13	30A	-	ADAMATIC #39	2090			14	-	-	SHUNT TRIP			
15	30A	-	ADAMATIC #39		2090		16	20A	-	TOWN RICE1 #15		1665	
17	20A	-	RANGE #18			720	18	20A	-	TOWN RICE1 #15			1665
19							20	20A	-	TOWN RICE2 #15	1665		
21	20A	-	WALK IN FANS #4		430		22	20A	-	TOWN RICE2 #15		1665	
23	40A	-	ALTO #23			3000	24	30A	-	WALK N 5C			1840
25	40A	-	ALTO #23	3000			26	30A	-	WALK N 5C	1840		
27	20A	-	ICE MAKER #22		1357		28	30A	-	WALK N 5D		1840	
29							30	30A	-	WALK N 5D			1840
31	20A	-	CONV OVEN #20		948		32	30A	-	WALK N 5E	2160		
33	30A	-	CASE1 #24			1900	34	30A	-	WALK N 5E		2160	
35	30A	-	CASE1 #24	1900			36	30A	-	WALK N 4			1840
37	30A	-	CASE2 #24		1900		38	30A	-	WALK N 4	1840		
39	30A	-	CASE2 #24			1900	40	20A	-	WALK N FANS			860
41							42						
Sub Total:				9030	8360	9155	Sub Total:				14205	14890	13885
Sub Total:				9030	8360	9155	Sub Total:				23235	23250	23040
Calculated Load:				18526	18676	18810	Total:				56	KVA	

ELECTRICAL PANEL PP1 SCHEDULE													
Voltage: 208/120			Location: Open Space			Legend:							
Phase: 3			Mounting: Surface			L Lights							
Wire: 4			Panel Type: Circuit Breaker			R Receptacles							
Main: 200A			Fed From:			M Motors							
Rating:			Feeder:			E Equipment							
Ground Bar			Short Circuit:			S Spare							
100% Natural Bus			Rating:										
CCT. Number	Trip	Legend	Description	Load (VA)			CCT. Number	Trip	Legend	Description	Load (VA)		
				A	B	C					A	B	C
1	40A	-	RTU 3	3650			2	40A	-	TURBO CHEF #29	3350		
3	40A	-	RTU 3		3650		4	40A	-	TURBO CHEF #29		3350	
5	40A	-	RTU 3			3650	6	20A	-	MEAT CASE1 #32			1656
7	20A	-	Saw #27	740			8	20A	-	MEAT CASE2 #32	1656		
9	20A	-	Saw #27		740		10	20A	-	ZERO FREEZ(3) #3		939	
11	20A	-	Saw #27			740	12	20A	-	ZERO FREEZ1 #3			1044
13	30A	-	HENNY PENNY1 #7	2222			14	20A	-	ZERO FREEZ1 #3	1044		
15	30A	-	HENNY PENNY1 #7		2222		16	20A	-	ZERO FREEZ2 #3		1044	
17	30A	-	HENNY PENNY1 #7			2222	18	20A	-	ZERO FREEZ2 #3			1044
19	20A	-	SMOKER #10	360			20	20A	-	ZERO FREEZ3 #3	1044		
21	20A	-	HUSSMANN1 #9		1800		22	20A	-	ZERO FREEZ3 #3		1044	
23	20A	-	HUSSMANN2 #9			1800	24	20A	-	ZERO REFR(3) #2			939
25	20A	-	MEAT SLICER 1 & 2 #12	800			26	20A	-	ZERO REFR1 #2	924		
27	20A	-	MIXER #26		800		28	20A	-	ZERO REFR2 #2		924	
29	20A	-	HUSS CASE #30			1920	30	20A	-	ZERO REFR3 #2			924
31	20A	-	TULSA #28	550			32	30A	-	WALK N 5A	2160		
33	20A	-	TULSA #28		550		34	30A	-	WALK N 5A		2160	
35	20A	-	POS REGISTERS #1			540	36	30A	-	WALK N 5B			1840
37							38	30A	-	WALK N 5B	1840		
39							40	20A	-	WALK N FANS		860	
41							42						
Sub Total:				8322	9762	10872	Sub Total:				12018	10321	7447
Sub Total:				8322	9762	10872	Sub Total:				8322	9762	10872
Calculated Load:				18310	18179	18060	Total:				55	KVA	

ELECTRICAL PANEL SP1 SCHEDULE													
Voltage: 208/120			Location: Open Area			Legend:							
Phase: 3			Mounting: Surface			L Lights							
Wire: 4			Panel Type: Circuit Breaker			R Receptacles							
Main: 100A			Fed From:			M Motors							
Rating:			Feeder:			E Equipment							
Ground Bar			Short Circuit:			S Spare							
100% Natural Bus			Rating:										
CCT. Number	Trip	Legend	Description	Load (VA)			CCT. Number	Trip	Legend	Description	Load (VA)		
				A	B	C					A	B	C
1	15A	-	LIGHTING 1	350			2	20A	-	CONV GFI HOT BAR	900		
3	15A	-	LIGHTING 2		400		4	20A	-	CONV GFI KITCH1		900	
5	15A	-	LIGHTING 3			440	6	20A	-	CONV GFI KITCH2			900
7	15A	-	LIGHTING 4	440			8	20A	-	SMOKER EX FAN	300		
9	15A	-	LIGHTING 5		240		10	20A	-	BATH EX FAN		600	
11	15A	-	LIGHTING 6			440	12	20A	-	REVENT EX FAN			300
13	15A	-	EXIT	50			14	20A	-	ROOF GFI	180		
15	15A	-	EM LIGHT		60		16	20A	-	CONV OUTLET 109		720	
17	20A	-	COLD CASE #31			1920	18	20A	-	CONV OUTLET 102			540
19	20A	-	REST RM GFI	360			20	20A	-	CONV GFI BUTCHER1	540		
21	20A	-	COLD CASE(3) #8			798	22	20A	-	CONV GFI BUTCHER2		540	
23	20A	-	BAKERY		360		24						
25	20A	-	COFFEE	1680			26	20A	-	DRINKING FTN	180		
27	20A	-	OFFICE		720		28						
29							30						
31							32						
Sub Total:				2880	2218	3160	Sub Total:				2100	2760	1740
Sub Total:				2880	2218	3160	Sub Total:				4980	4978	4900
Total:				15	KVA								



Electrical Riser Diagram
Not to scale

General Notes:
 A- Wherever circuit conductors are spliced in a box, any equipment grounding conductors associated with these circuits must be bonded ("pigtailed") to the box per NEC 250.148.
 B- ARC-Flash hazard warning markings shall be provided on electrical equipment likely to require examination, adjustment, servicing, or maintenance while energized to warn qualified persons of potential electric arc flash hazards in accordance with NEC 110.16.
 C- Illumination shall be provided for all working spaces about electrical equipment and that the illumination shall not be controlled by automatic means only per NEC 110.26(0).
 D- The service disconnect shall be permanently marked to identify it as the service disconnect.
 E- Access and working space shall be provided and maintained about all electrical equipment and that required working space shall not be used for storage per NEC 110.26(A),(B),(C).
 F- The panel directories shall have sufficient detail to allow each circuit to be distinguished from all others and the panel label(s) shall include the source of feed per NEC 408.4.

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.

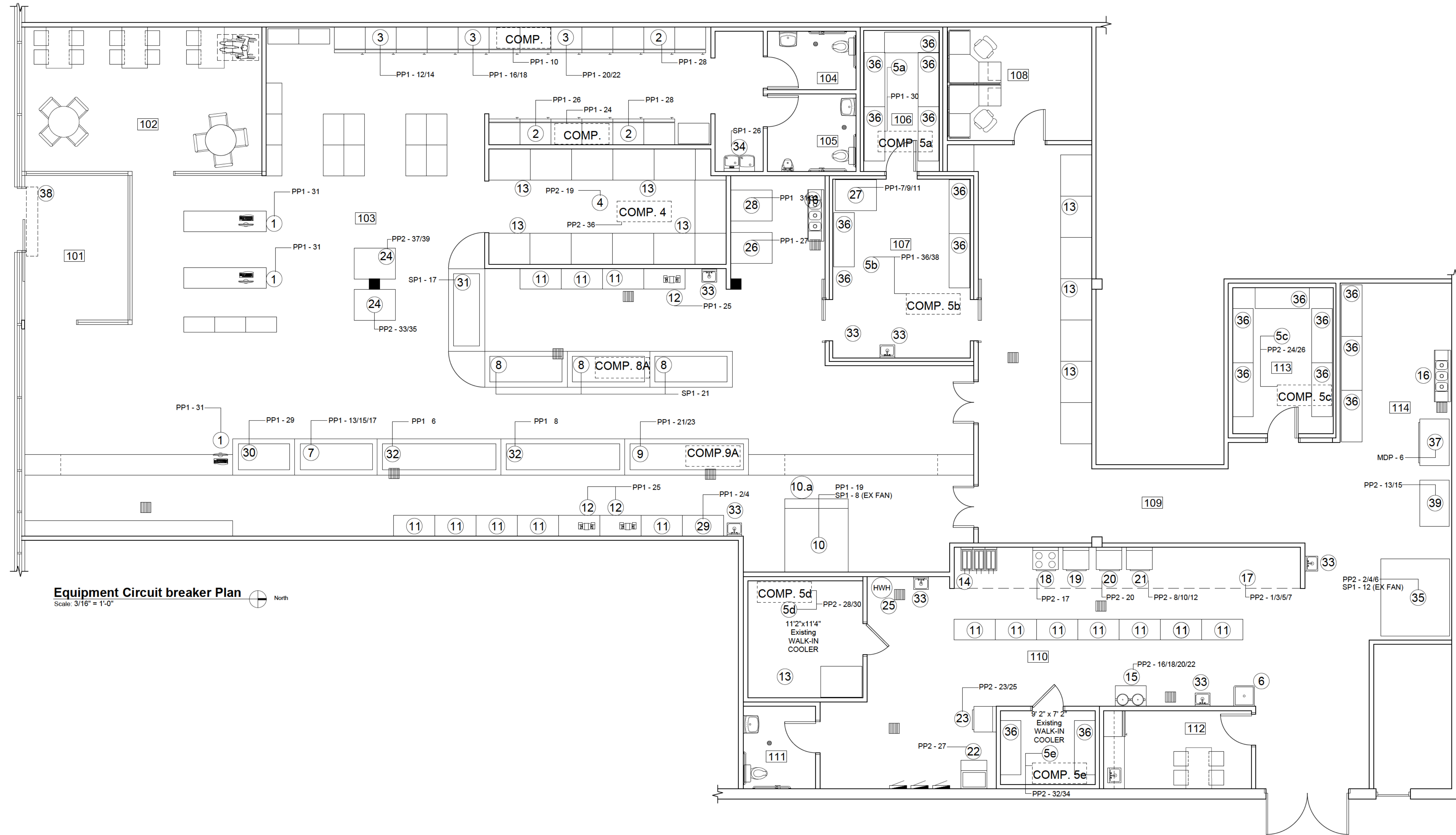


Sara E.F. Gensburg, Ltd.
 Architecture/Design
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 Phone: (847) 715-9591

Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

No.	Date:	Issued for Permit	Revised per Building Department Comments
1	02-19-25	Issued for Permit	Revised per Building Department Comments
2	06-09-25	Revised per Building Department Comments	Revised per Building Department Comments
3	06-24-25	Revised per Building Department Comments	Revised per Building Department Comments
4	07-06-25	Revised per Building Department Comments	Revised per Building Department Comments

SEFG No. 124193
 Drawn: MAV
 Checked: S.E.F.G.
 Date: 02-19-25
 SHEET: **E1**
 Sheet 1 of 4



Equipment Circuit breaker Plan
 Scale: 3/16" = 1'-0" North

NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.

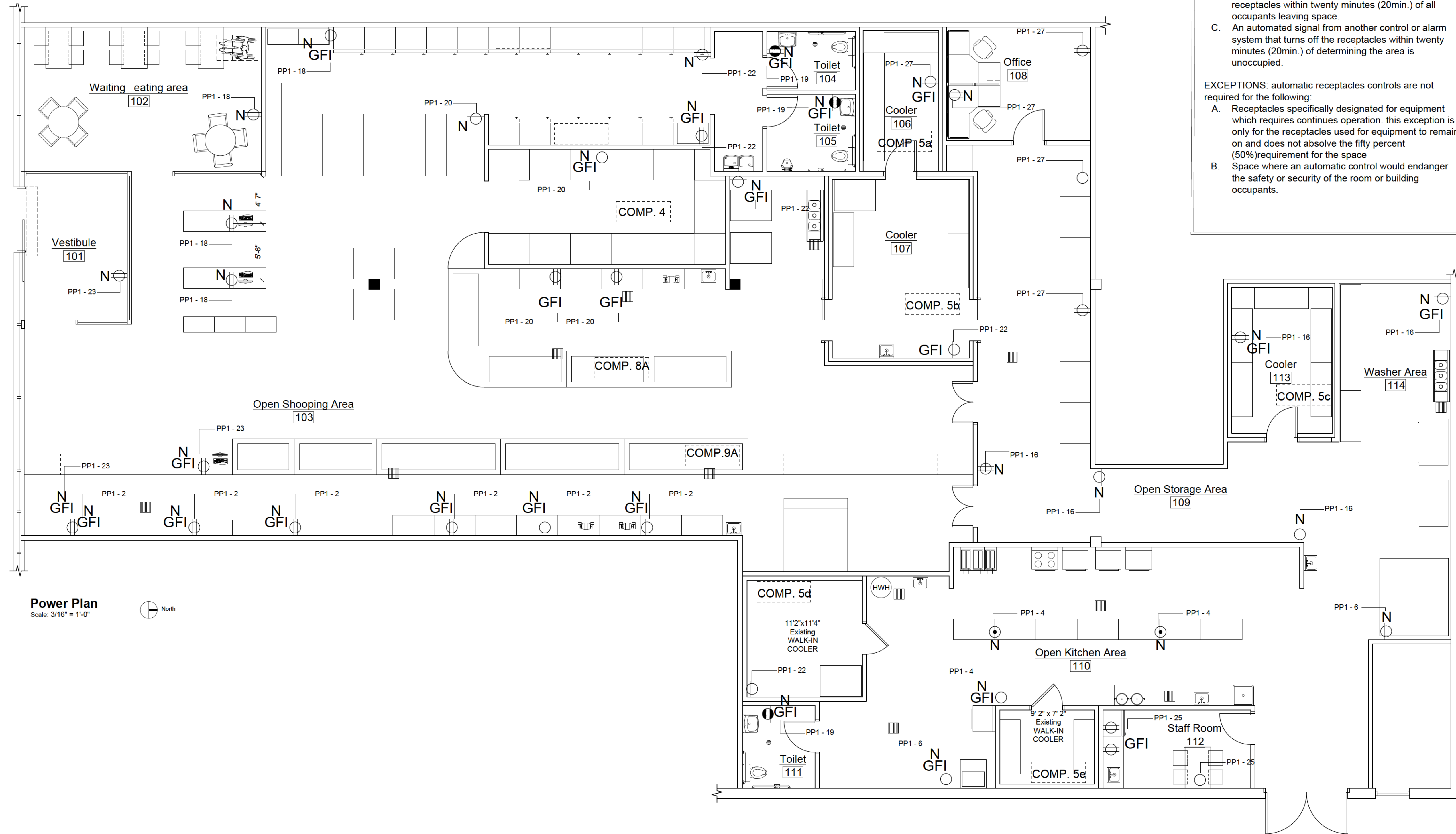


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Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

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1	02-19-25	Issued for Permit			
2	06-09-25	Revised per Building Department Comments			
3	06-23-25	Revised per Building Department Comments			
4	07-06-25	Revised per Building Department Comments			

SEFG No. 124193	SHEET: E2
Drawn: MAV	
Checked: S.E.F.G.	
Date: 02-19-25	Sheet 2 of 4



Power Plan
Scale: 3/16" = 1'-0"
North

General Notes:

- Office 108 required occupant sensor receptacle controls and functions. 50% of (125v), (20A) receptacles in the office to be controlled. accordance with NEC 406.3(E). either split controlled receptacles shall be provided with one receptacle controlled, or a full controlled receptacle shall be located within twelve inches (12") of each fully uncontrolled receptacle.
- A. A scheduled basis using a time of a day operated devise that turns power off at programmed times and can be for programmed separately for each day of the week. the occupant shall be able to manually override an area for not more than two hours (2hrs)
- B. An occupant sensor control witch turns off receptacles within twenty minutes (20min.) of all occupants leaving space.
- C. An automated signal from another control or alarm system that turns off the receptacles within twenty minutes (20min.) of determining the area is unoccupied.

EXCEPTIONS: automatic receptacles controls are not required for the following:

- A. Receptacles specifically designated for equipment which requires continues operation. this exception is only for the receptacles used for equipment to remain on and does not absolve the fifty percent (50%) requirement for the space
- B. Space where an automatic control would endanger the safety or security of the room or building occupants.

Sara E.F. Gensburg, Ltd.
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Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

No.	Date	Issued:
1	02-19-25	Issued for Permit
2	06-09-25	Revised per Building Department Comments
3	06-23-25	Revised per Building Department Comments
4	07-02-25	Revised per Building Department Comments



SEFG No. 124193
Drawn: MAV
Checked: S.E.F.G.
Date: 02-19-25

SHEET: **E3**

Sheet 3 of 4

Interior Renovation
BUTCHER SHOP AND MARKET
548-B W. DUNDEE ROAD
WHEELING, ILLINOIS

Interior Renovation

No.	Date	Issued for Permit	Revised per Building Department Comments	Revised per Building Department Comments	Revised per Building Department Comments
1	02-19-25	Issued for Permit	06-09-25	Revised per Building Department Comments	07-06-25
2			06-23-25	Revised per Building Department Comments	
3			07-06-25	Revised per Building Department Comments	

SEFG No. 124193	SHEET:
Drawn: MAV	E4
Checked: S.E.F.G.	
Date: 02-19-25	Sheet 4 of 4



NOTE: THIS ENTIRE SHEET HAS BEEN UPDATED.



Lighting Plan
 Scale: 3/16" = 1'-0" North

BUSINESS LICENSE APPLICATION

Application for New Business License
May 1, 2023 – April 30, 2024

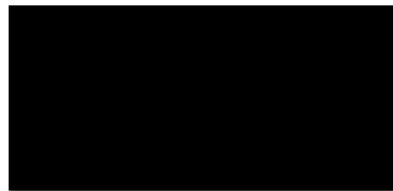


3. APPLICANT ACKNOWLEDGEMENT

This section is to be completed and signed by the person completing this Application

Applicant Name: Tetyana Bazylyuk

I, as the Applicant, hereby acknowledge and understand the contents of this application; that the information provided herein is true and understand that any false information given shall be cause for revocation of any licenses issued herein. I further state that I have viewed all appropriate village ordinances relating to the operation of a business and that unless all ordinances are complied with, no license will be issued.



3/11/25
Date

4. PROPERTY OWNER CONSENT

This section is to be completed and signed by the owner of the space/property identified on this Application

Owner of Record Name: Lynn Plaza LLC
Address: 916 Hillmark + Johnson Property Mgmt LTD 6160 N Cicero #420
City: Chicago State: Ill ZIP: 60644
Phone #: 773-777-6160 Email: MikaK@HillmarkJohnson.com

The undersigned, does state that he/she is the owner of record for the property located at:
548 B Dondel as set forth herein and that the Applicant, as identified on this Application, has been authorized to submit this Application and that the proposed business operations and all related action(s) at the subject property as identified herein are hereby authorized, subject to the issuance of a Village of Wheeling Business License.

Property Owner Signat
Lynn Plaza LLC

3/11/25
Date

END OF APPLICATION