

**WHEELING PLAN COMMISSION
THURSDAY, AUGUST 10, 2017 6:30 P.M.**

**AGENDA FOR A REGULAR MEETING OF THE PLAN COMMISSION
to be held in the Board Room of the Village Hall
2 Community Boulevard, Wheeling, Illinois**

REVISED AUGUST 4, 2017

This meeting will stream live and be televised on Wheeling's Cable Channels 17 & 99

- 1. CALL TO ORDER**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ROLL CALL**
- 4. CHANGES TO THE AGENDA**
- 5. CITIZEN CONCERNS AND COMMENTS**
- 6. CONSENT ITEMS - none**
- 7. ITEMS FOR REVIEW**
 - A) [Docket No. SCBA 17-30](#)
Heritage Park
333 W. Dundee Road
Appearance Approval of Monument Signs
 - B) [Docket Nos. PC 17-14 and SCBA 17-31](#)
Burger King
425 W. Dundee Road
(PC 17-14) Site Plan & Appearance Approval of Building and Site
Modifications
(SCBA 17-31) Appearance Approval of Wall Signs
- 8. APPROVAL OF MINUTES – [July 27, 2017](#) (including findings for Docket No. 2017-6)**
- 9. OTHER BUSINESS**
- 10. ADJOURNMENT**

**IF YOU WOULD LIKE TO ATTEND A VILLAGE MEETING BUT REQUIRE
AUXILIARY AID SUCH AS A SIGN LANGUAGE INTERPRETER, PLEASE CALL (847)
459-2600 AT LEAST 72 HOURS PRIOR TO THE MEETING.**

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community
Brooke A. Jones, Senior Planner

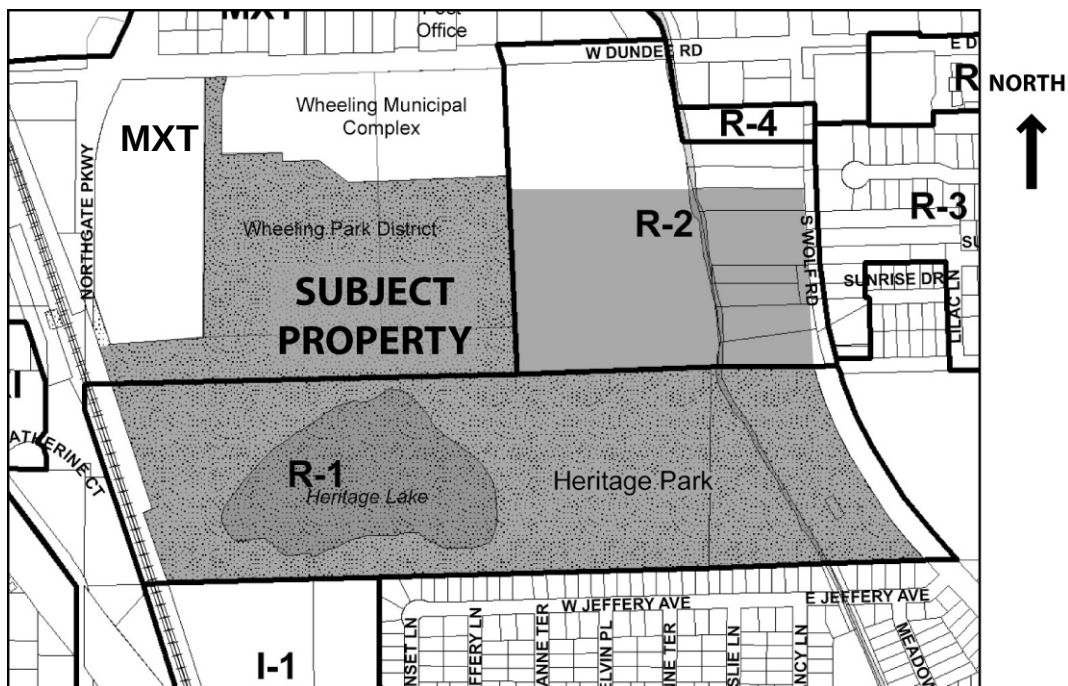
RE: **Docket No. SCBA 17-14**
Heritage Park
333 W Dundee Road
Appearance Approval of Monument Signs

DATE OF REPORT: August 3, 2017

DATE OF MEETING: August 10, 2017

PROJECT OVERVIEW: The petitioner is requesting appearance approval of three freestanding signs at the entries of Heritage Park.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Applicant Name: Lawrence Raffel, Wheeling Park District

Property Owner Name: Wheeling Park District

Common Property Address: 333 W. Dundee Road

Existing Use of Property:

Public/Institutional

Existing Property Zoning:

MXT Transit-Oriented Mixed Use District / R-1
Single-Family Residential / R-2 Single-Family
Residential

Previous Relevant Zoning Action:

PC 11-15	Ord. No. 4621, passed 7.18.2011, granted site plan and appearance approval of park improvements and a flood control facility.
2003-24A	Ord. No.3766, passed 8.11.2003, granted special use-site plan approval of concession stands.
1995-20	Ord. No.3067, passed 8.21.1995, granted amendments to Ord.
1991-10	Ord. No.2698, passed 5/1/1991, granted special use-site plan approval of an existing park and development improvements.
748	Ord. No. 2699, passed 5/1/1991, granted a variation for two buildings on a lot.

DESCRIPTION OF PROPOSAL

The petitioner, Wheeling Park District, is requesting appearance approval to install freestanding park identification signs at three different entrances. The subject property is subject to a special use permit. Section 21.07.010 of the Sign Code states that “signs relating to the function of the special use as determined in Title 19 shall be permitted and reviewed by the Plan Commission to determine if the signs are necessary for the conduct of the special use, the signs will not alter the essential character of the locality, and the dimensions and mechanical features will not adversely affect surrounding uses.”

SIGNAGE PLAN REVIEW

Signage Locations: The petitioner is proposing to install freestanding signs at three different park entrances. Two signs will be located near Wolf Road. One (Sign A) will be located at the pedestrian entrance, near the bridge at Highland Avenue. The second (Sign A1) will be located at the southeast edge of the park, near park access drive. The third (Sign A2) will be located by the pedestrian access point near the intersection of Jeffery Avenue and Jeanne Terrace.

Each sign will have a front setback of at least 10-feet and a side setback of at least 15 feet, per code. Also, each sign will be at least 300 feet from any other freestanding sign, which also meets the requirements of the Sign Code.

Proposed Signage Size, Style and Type: Three monument-style, double-sided signs are proposed that are similar in design. Each sign will include a single limestone pillar and base with stone caps. A sign panel will be mounted above the base and adjacent to the base by steel beams and tubing (that will match the Heritage Park shelter). A sign panel will be attached to the pillar that notes the different features of Heritage Park. A sign panel will be attached to the base that has the Park District name and logo. The sign attached by steel beams and tubing on Signs A and A2 will be a flat panel with the Heritage Park name, logo, and tag line. The sign panel attached by steel beams and tubing on Sign A1 will be an electronic message board. Spec

sheets for the electronic message board are provided. An electronic message board is specifically permitted by the Sign Code for government buildings and recreation centers.

Sign A has an overall height of 8'0" and width of 11'8." The overall height and width of the sign with the electronic message board (Sign A1) is not provided. However, the electronic message panel is 3'8" x 8'1" in size. The overall sign size appears to be similar to Sign A. Sign A2 has an overall height of 5'3" and width of 7'2."

Landscaping: One landscape plan is provided for all three signs. The area of the landscaping appears to meet the requirements of the Sign Code. The proposed landscape plan meets the species mix requirements of the Sign Code. It includes dwarf evergreens/winter interest (Green Velvet Boxwood), deciduous shrubs (Dwarf Korean Lilac), fall and winter interest (Emerald "N" Gold Euonymus) and flowering perennials (Stella De Oro Daylily, seasonal asters, coneflowers, black-eyed susan, salvia, catmint, Russian sage, and Cercis). Additionally, at locations for Signs A and A2, there will be a Royal White Redbud.

STAFF REVIEW

Impact on Neighboring Uses: No significant impact on adjacent uses is expected.

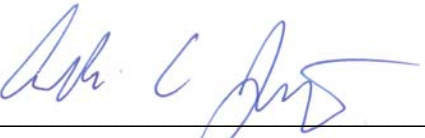
Senior Planner's Recommendation to the Plan Commission: Because the proposed signs are located in residentially zoned districts, they would not be allowed except by explicit permission by the Plan Commission, as noted in Section 21.07.010 of the Sign Code (Special Use Sign General Standards). If the Plan Commission finds that the signs "are necessary for the conduct of the special use, the signs will not alter the essential character of the locality, and the dimensions and mechanical features will not adversely affect surrounding uses," then staff recommends approval of the proposed signage.

PROPOSED MOTION

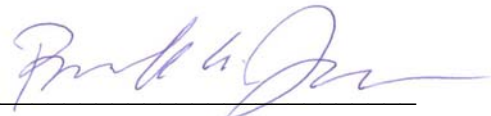
If the Plan Commission approves of the proposed signs, an appropriate motion would be:

Approval of Docket No. SCBA 17-30 to permit the installation of the Heritage Park freestanding signs in accordance with the following plans submitted July 28, 2017 (except as noted) by the Wheeling Park District, located at 333 W. Dundee Road Wheeling, Illinois:

- Sheet SD 1.0 Location Plan,
- Sheet SD 2.0 Signage Concepts (elevations), and
- Sheet SD 3.0 Landscape plan (7.27.2017).



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachments:

[Photos of existing conditions \(staff\)](#)

[Sheet SD 1.0 Location Plan](#)

[Sheet SD 2.0 Signage Concepts \(elevations\)](#)

[Sheet SD 3.0 Landscape plan](#)

Heritage Park – 333 W. Dundee Road
Docket No. SCBA 17-30 (Appearance Approval of Freestanding Signs)
Plan Commission Meeting – August 10, 2017



Existing conditions of proposed Sign A location along Wolf Road (looking north)

Heritage Park – 333 W. Dundee Road
Docket No. SCBA 17-30 (Appearance Approval of Freestanding Signs)
Plan Commission Meeting – August 10, 2017



Existing conditions of proposed Sign A1 location along Wolf Road (looking south)

Heritage Park – 333 W. Dundee Road
Docket No. SCBA 17-30 (Appearance Approval of Freestanding Signs)
Plan Commission Meeting – August 10, 2017



Existing conditions of proposed Sign A2 location along Jeffrey Avenue (looking north)



PLANNING & DEVELOPMENT
333 W. DUNDEE ROAD
WHEELING, IL 60090 / 847.465.3333

COVER SHEET

HERITAGE PARK
SIGNAGE

HERITAGE PARK SIGNAGE

Wheeling Park District

Schedule of Drawings

- SD 1.0 LOCATION PLAN
- SD 2.0 SIGNAGE CONCEPTS
- SD 3.0 LANDSCAPE PLAN

PLAN COMMISSION SET

NOTE:
The exact locations of all
utilities shall be verified
by the contractor prior to
construction activities.
For utility locations call:
J.U.L.I.E.
1.800.892.0123

DATE	REVISION

SCALE:
DATE: 07/27/17
PROJECT NO.:
DRAWN BY: LBR
CHECKED BY: LBR

SHEET
C 0.0



- LEGEND:**
- 'A' - PRIMARY ENTRY INTO PARK. VISUAL FEATURE
 - 'A1' - PRIMARY ENTRY INTO PARK. VISUAL FEATURE W/ ELECTRONIC MESSAGE BOARD
 - 'A2' - NEIGHBORHOOD ENTRY INTO PARK. VISUAL FEATURE / SMALLER SCALE

- QUANTITIES:**
- 1
 - 1
 - 1

NOTE:
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For utility locations call:

J.U.L.I.E.
1.800.892.0123

Exhibit received 7.28.2017



Wheeling Park District
We're People Driven

PLANNING & DEVELOPMENT
333 W. DUNDEE ROAD
WHEELING, IL 60090 / 847.465.3333

LOCATION PLAN

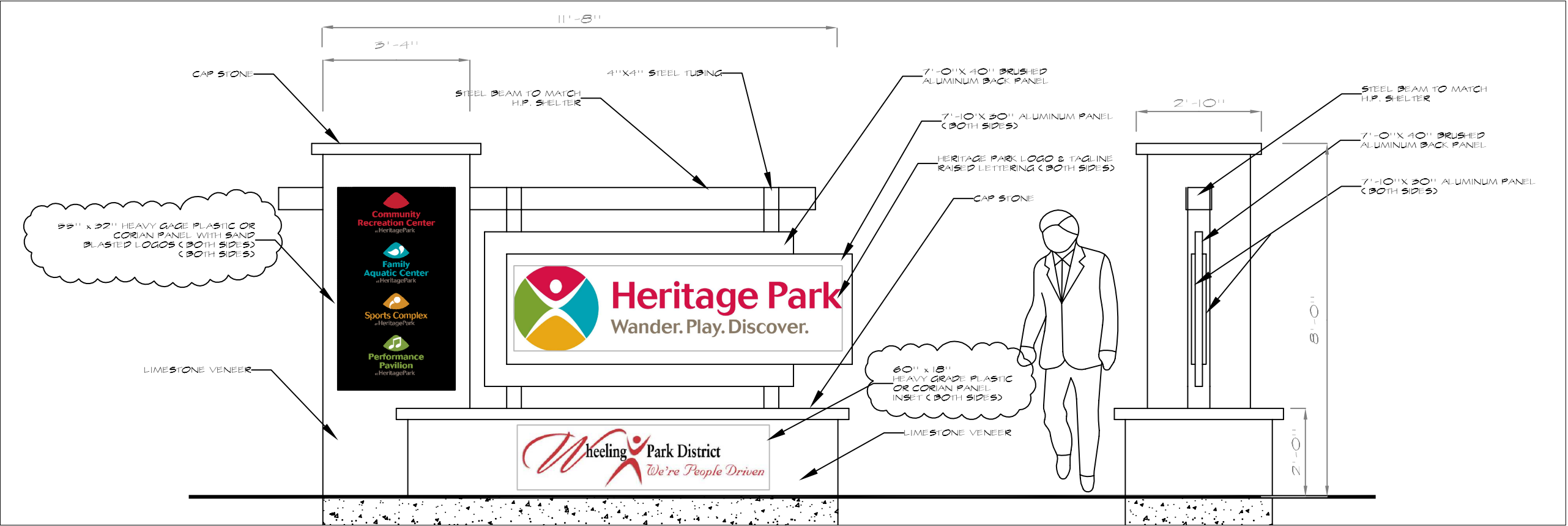
**HERITAGE PARK
SIGNAGE**

DATE	REVISION
07/28/17	SETBACK DIMENSIONS DIMENSIONS ADDED AS REQUESTED

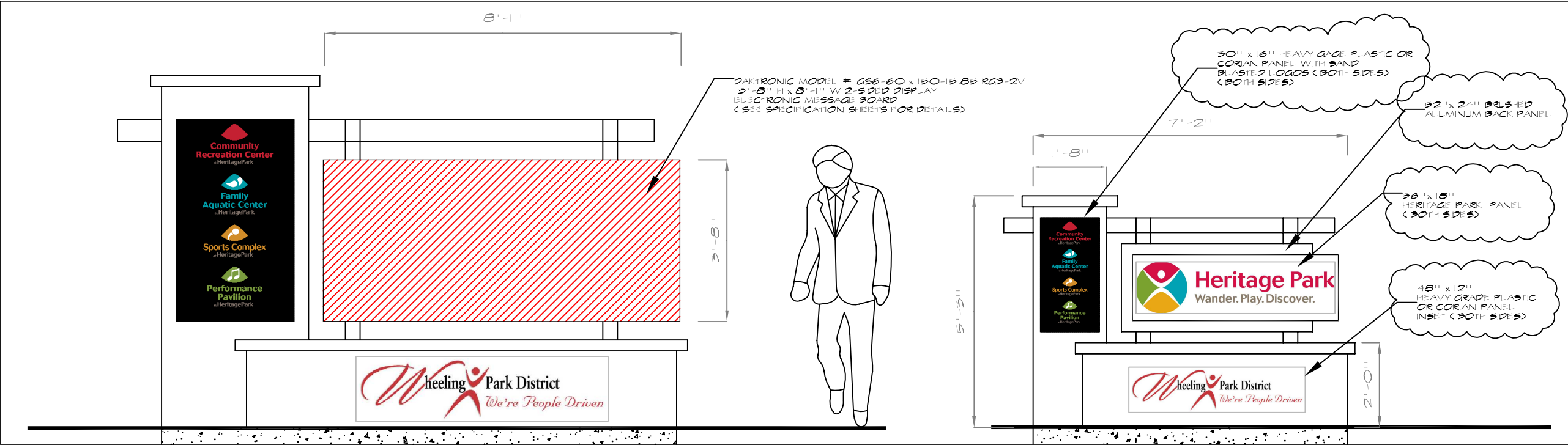
SCALE: NTS
DATE: 07/27/17
PROJECT NO.:
DRAWN BY: LBR
CHECKED BY: LBR

SHEET

SD 1.0



"A" SIGN - PRIMARY ENTRY INTO PARK
SCALE: 3/8"=1'-0"



"A1" SIGN - PRIMARY ENTRY INTO PARK
W/ ELECTRONIC MESSAGE BOARD
SCALE: 3/8"=1'-0"

"A2" SIGN - NEIGHBORHOOD ENTRY INTO PARK
SMALLER SCALE
SCALE: 3/8"=1'-0"



PLANNING & DEVELOPMENT
333 W. DUNDEE ROAD
WHEELING, IL 60090 / 847.465.3333

SIGNAGE CONCEPTS

HERITAGE PARK
SIGNAGE

DATE	REVISION
07/28/17	ADDITIONAL SIGN PANEL DIMENSIONS AS REQUESTED

SCALE: 3/8"=1'-0"
DATE: 07/27/17
PROJECT NO.:
DRAWN BY: LBR
CHECKED BY: LBR

Exhibit received 7.28.2017



PLANNING & DEVELOPMENT
333 W. DUNDEE ROAD
WHEELING, IL 60090 / 847.465.3333

SIGNAGE LANDSCAPE
CONCEPT

HERITAGE PARK
SIGNAGE

DATE	REVISION

SCALE: 3/8" = 1'-0"

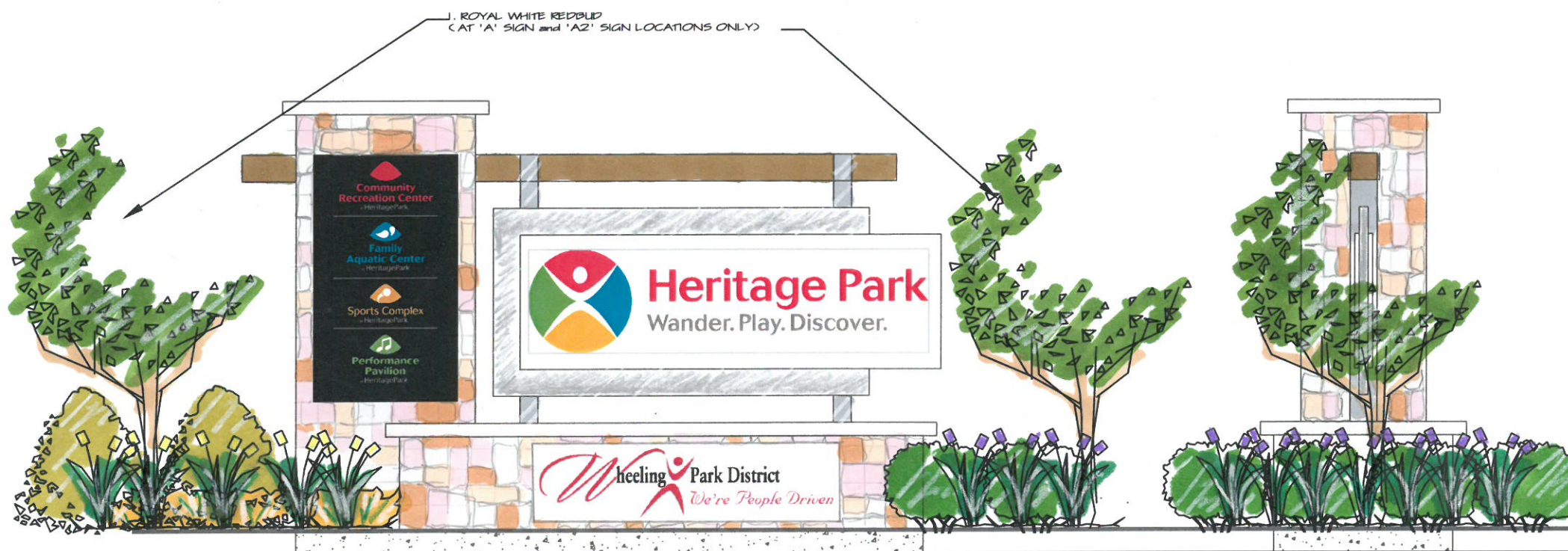
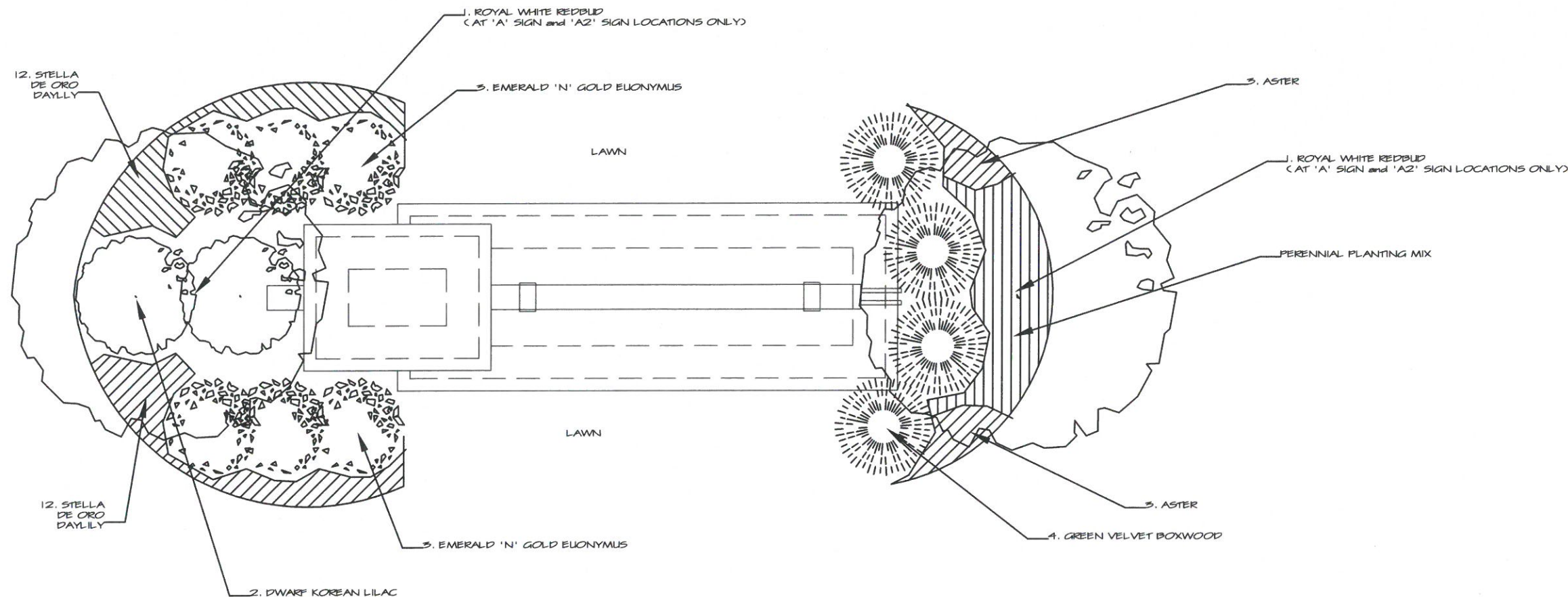
DATE: 07/27/17

PROJECT NO.:

DRAWN BY: LBR

CHECKED BY: LBR

SHEET
SD 3.0



PRIMARY ENTRY INTO PARK SIGN W/ LANDSCAPE

PLANT LIST

COMMON NAME	BOTANICAL NAME	QUANT.	SIZE	COMMENTS
DWARF KOREAN LILAC	SYRINGA meyeri	2	30"	DECIDUOUS SHRUB
GREEN VELVET BOXWOOD	BUXUX x 'GREEN VELVET'	4	#5 CONT.	DWARF EVERGREEN / WINTER INTEREST
STELLA DE ORO DAYLILY	HEMEROCALLIS 'STELLA DE ORO'	24	#1 CONT.	PERENNIAL
EMERALD 'N' GOLD EUONYMUS	EUONYMUS fortunei 'EMERALD 'N' GOLD	6	#5 CONT.	BROADLEAF / FALL & WINTER INTEREST
SEASONAL ASTER MIX	SYMPHYOTRICHUM	6	#1 CONT.	SEASONAL COLOR
PERENNIAL PLANTING MIX	CONEFLOWER/BLACK-EYED SUSAN/ SALVIA/CATMINT/RUSSIAN SAGE	6	#1 CONT.	SEASONAL COLOR
*HEART OF GOLD REDBUD	CERCIS canadensis	2	6' HT.	'A' SIGN & 'A2' SIGN ONLY

NOTE:
The exact locations of all
utilities shall be verified
by the contractor prior to
construction activities.
For utility locations call:

J.U.L.I.E.
1.800.892.0123

Exhibit received 7.27.2017

REQUEST FOR PLAN COMMISSION ACTION
STAFF PROJECT REVIEW

TO: Chairperson Ruffatto and Members of the
Wheeling Plan Commission

FROM: Andrew C. Jennings, Director of Community Development
Brooke A. Jones, Senior Planner

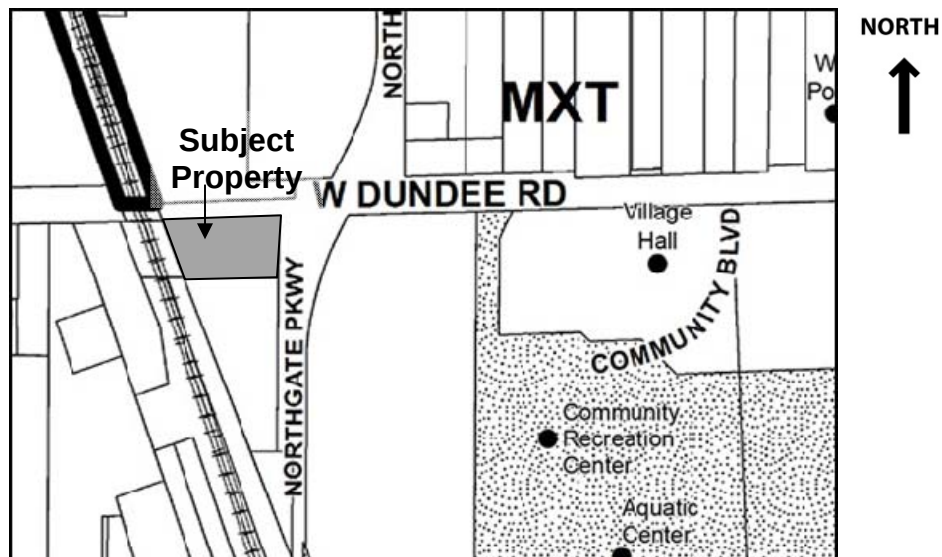
DATE OF REPORT: August 4, 2017

DATE OF MEETING: August 10, 2017

RE: **Docket Nos. PC 17-14 and SCBA 17-31**
Burger King
425 W. Dundee Road
(PC 17-14) Site Plan Change to Special Use Ordinance No.
1997 for Building and Site Modifications to an
Existing Drive-Thru Restaurant
(SCBA 17-31) Appearance Approval of Wall Signs

PROJECT OVERVIEW: The petitioner is seeking a site plan change to Special Use Ordinance No. 1997 for building and site modifications to the existing Burger King Restaurant, which is zoned MXT Transit-Oriented Mixed Use District. The petitioner is also seeking appearance approval of new wall signs.

LOCATION MAP:



GENERAL PROPERTY INFORMATION

Development Name: Burger King

Applicant Name: Tracy Willie, Warren Johnson Architects

<u>Property Owner:</u>	Maria Alvarado
<u>Common Property Address:</u>	425 W. Dundee Road
<u>Common Location:</u>	Located at the southwest corner of Dundee Road and Northgate Parkway
<u>Neighboring Property Land Use(s):</u>	North: MXT Transit Oriented Mixed Use (Vacant) South: MXT Transit Oriented Mixed Use (Metra Parking and Wheeling Town Center Development) East: MXT Transit Oriented Mixed Use (Wheeling Town Center Development) West: MXT Transit Oriented Mixed Use (Metra Parking and Wheeling Town Center Development)
<u>Comprehensive Plan Designation:</u>	Transit-Oriented Mixed Use
<u>Property Size:</u>	41,453 sq. ft.
<u>Building Size:</u>	3,396 sq. ft.
<u>Existing Use of Property:</u>	Drive-through restaurant
<u>Proposed Use of Property:</u>	No change
<u>Existing Property Zoning:</u>	MXT Transit Oriented Mixed Use
<u>Previous Zoning Action on Property:</u>	
1983-9	Ordinance No. 1997, passed September 6, 1983, granted Special Use-Site Plan Approval for a drive-through restaurant.

DESCRIPTION OF PROPOSAL

The petitioner (Burger King) is requesting site plan and appearance changes to the existing drive-through restaurant. The property is being completely remodeled, including minor site and landscape modifications, a new building façade, new wall signs, and a revised floor plan with upgraded finishes. A detailed list of all proposed changes is provided in the [cover letter](#).

SITE PLAN REVIEW

Scale of Site Plan: 1' = 20'

General Site Layout: The general site layout will remain the same, but some minor site changes are proposed. The curb and radius of the drive-thru lane will be slightly modified, causing the loss of three parking stalls near the trash enclosure. The outdoor patio will also be removed.

Floor plan: The floor plan indicates indoor seating for 66. There will be no outdoor seating with the proposed modifications.

Total Number of Parking Spaces: The existing special use ordinance specifically states there shall be no more than 95 seats. The proposed floor plan has 66 seats. While there is a loss of three parking stalls, the proposed 48 stalls provided is more than adequate (per Code and the existing special use ordinance) to park the 66 seats and employees.

Bicycle Parking: Three bike racks will be provided at the northeast corner of the building, which will provide bicycle parking for 6. The bike rack details are provided on [Sheet SP-3](#).

Fencing: The existing cedar board on board fence along the south property line will be replaced. A fence detail is provided on [Sheet SP-3](#).

Site Lighting: The existing parking lot light poles, heads and bases will be repainted. New wall-mounted lights will be added to the building.

Trash Enclosure: The existing trash enclosure gates will be replaced. The existing masonry trash enclosure will be painted.

APPEARANCE REVIEW

Elevation Plan Review: The proposed elevation modifications will create a new architectural style for the existing building. The mansard roof will be replaced with a flat roofs and tower elements. Horizontal fiber cement panels in “tanners taupe” color will be located above the windows. Wall areas below the existing windows, which were clad in wood panels, will be replaced with fiber cement brick panels. The existing brick on the lower portion of the building will be painted. The new fiber cement brick panels and the existing brick will be painted the same color, “shale brown.” New storefront windows and doors are proposed for the drive-through window and the entry doors on the north and east facades. Metal canopies will provide additional architectural detailing above the windows and doors. The Plan Commission may wish to review the building materials (fiber cement board siding and brick panels).

Material Samples: Samples will be provided at the meeting.

Existing Landscaping: The existing landscaping is minimal. The existing daylilies in the parking islands will remain. Four existing pine trees along Dundee Road, which block the visibility of the building and are in fair condition, will be removed. The existing river birch tree, which is dying, located along the south property line will be removed.

Proposed Landscaping: New decorative grasses, perennial flowers, and evergreen shrubs are proposed for the landscaped islands. A new hedge of viburnum and privet is proposed that will screen the parked vehicles from Dundee Road. The existing patio area along Dundee Road will be replaced with sod and perennial flowers. Additional foundation plantings, including Knockout Rose, salvia, decorative grasses, and shrubs will surround the building. The proposed landscaping will be a vast improvement over the existing landscaping.

SIGN PLAN REVIEW

Sign Locations: The existing freestanding sign along Dundee Road will remain. The pole and cabinet will be repainted. The existing directional sign faces will be replaced and the posts will be repainted. The existing drive-thru menu board will be relocated. All existing wall signs will be removed and replaced with new wall signs for the north, south and east elevations.

Sign Types and Sizes: New wall signs are proposed. It does not appear that the wall signs meet the Sign Code. Three cabinet signs are proposed that are 6 feet in diameter. One additional wall sign is proposed that is a tagline sign that it made of individual letters. The tagline may be permitted, provided it is no more than 40 percent of the total sign area. However, the primary business identification signs are not permitted because the code does not permit such cabinet signs, unless they are a graphic logo or tagline that is no more than 40 percent of the total sign area.

Staff suggests the Plan Commission table SCBA 17-31 so the plans can be revised to meet the Sign Code.

STAFF REVIEW

Fire Department Review: The Fire Department has provided a comment memo dated August 4, 2017. The comments will be addressed at permit.

Engineering Division Review: The Engineering Division has provided a memo dated August 3, 2017. These comments can be addressed at permit.

Health Division Review: The Health Division has reviewed the plans and has provided the following comments, which shall be addressed at permit:

- The ceiling in the kitchen, ware-washing, storage rooms and bathroom shall not be acoustical. They must be vinyl clad gypsum board for easy cleanability.

Impact on Adjacent Uses: There is no significant impact anticipated on adjacent uses.

Staff Recommended Action: Prior to making a motion for building and site modifications, staff recommends the Plan Commission review the proposed exterior wall materials with the petitioner. Upon review of the materials, staff suggests the PC recommend approval of Docket No. PC 17-14. Staff suggests the PC table Docket No. SCBA 17-31 so the plans can be revised to meet code.

PROPOSED MOTIONS

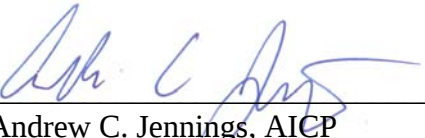
If the Plan Commission approves of the requested site plan change to the existing special use and believes the signage is not ready for review, appropriate motions would be to:

Recommend Approval of Docket No. PC 17-14 to grant a site plan change to Special Use Ordinance No. 1997 as shown on the following exhibits submitted July 19, 2017, by Warren Johnson Architects, for Burger King located at 425 W. Dundee Road, Wheeling, Illinois:

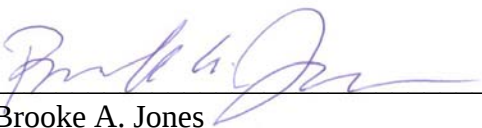
- Cover letter (2 pages)
- Demo site plan, SP-0.1
- Site plan, SP-1
- Site details, SP-2
- Site details, SP-3
- Demo plans, DM-1
- Floor plan, A-1
- Floor plan and seating plan, ID-2
- Existing elevations, A-3
- Proposed east elevation, A-4
- Proposed west, north and south elevations, A-4.1
- Landscape plan, L1
- Channel letter sign plan
- Cabinet sign plans (8 sheets)
- Photos of existing conditions (4 sheets)
- Photos of remodeled examples (3 sheets)

And Table Docket No. SCBA 17-31 to grant appearance approval for the proposed sign modifications as shown on the following exhibits submitted July 19, 2017 for Burger King, located at 425 W. Dundee Road, Wheeling Illinois:

- Channel letter sign plan
- Cabinet sign plans (8 sheets)
- Proposed east elevation, A-4
- Proposed west, north and south elevations, A-4.1



Andrew C. Jennings, AICP
Director of Community Development



Brooke A. Jones
Senior Planner

Attachments: [Memo from Fire Department, dated 8.4.2017](#)

 [Memo from Engineering Division, dated 8.3.2017](#)

 [Photos of existing conditions \(staff\)](#)

 [Cover letter \(2 pages\)](#)

 [Demo site plan, SP-0.1](#)
 [Site plan, SP-1](#)

[Site details, SP-2](#)

[Site details, SP-3](#)

[Demo plans, DM-1](#)

[Floor plan, A-1](#)

[Floor plan and seating plan, ID-2](#)

[Existing elevations, A-3](#)

[Proposed east elevation, A-4](#)

[Proposed west, north and south elevations, A-4.1](#)

[Landscape plan, L1](#)

[Channel letter sign plan](#)

[Cabinet sign plans \(8 sheets\)](#)

[Photos of existing conditions \(4 sheets\)](#)

[Photos of remodeled examples \(3 sheets\)](#)



MEMO – Fire Prevention Bureau

TO: Brooke Jones, Village Planner
FROM: Ronald S. Antor, Fire Inspector
CC: Andrew Jennings, Director of Community Development
Keith MacIsaac, Fire Chief
FPB File
DATE: August 8, 2017
SUBJECT: Proposed Site Improvements and Interior Remodeling – 425 West Dundee Road – Burger King Restaurant – Plans received for review by the Fire Department, July 19, 2017.

The Wheeling Fire Department has reviewed the submittals received related to the above referenced project and has the following comments:

Site Plan

1. The proposed plans show various minor site improvements to the drive through, trash enclosure and adjacent parking area, and outdoor seating area. These changes have no effect to the existing Fire Department access to the site.

425 West Dundee Road – Remodeled Interior

1. Based on the documents submitted for review, there are no changes to the Use Group for the building as defined in the 2012 Editions of the International Building (IBC) and Fire Prevention Codes (IFC).
2. All construction for interior remodeling shall comply with the Village's Building and Fire Prevention Codes (2012 Editions of the International Building Code & International Fire Code – with amendments).

At this time there are no other Fire Department comments related to the project as presented in the documents reviewed.



MEMORANDUM

TO: Brooke Jones, Senior Planner

FROM: Kyle Goetzelmann, Civil Engineer I

COPY: Jon Tack, Village Engineer

DATE: August 3rd, 2017

SUBJECT: Burger King Building/Site Improvements
425 W. Dundee Rd. - Review Comments

The Engineering Division received a cover letter, architectural drawings, building photos, landscape plan, plat of survey, remodel examples, and signage drawings for the subject project on July 19th, 2017. The Engineering Division has completed a review of the above referenced submittal and offers the following comments at this time:

1. The following flatwork will need an Engineering permit.
 - a. Sidewalk removal and replacement.
 - b. Oversized curb section remove and replacement.
 - c. New curbs along drive through lane.
 - d. New ADA ramps.
 - e. Parking lot restriping.
 - f. New asphalt overlay in parking lot.
2. All parking lot, curb and sidewalk must follow all Village standard details.

Burger King – 425 W. Dundee Road

Docket No. PC 17-14 (Site Plan & Appearance Approval of Building and Site Modifications)
Plan Commission Meeting – August 10, 2017



Existing conditions of subject property along Dundee Road (looking north)

Burger King – 425 W. Dundee Road

Docket No. PC 17-14 (Site Plan & Appearance Approval of Building and Site Modifications)
Plan Commission Meeting – August 10, 2017



Existing conditions of front (east) building façade (looking west)

Burger King – 425 W. Dundee Road

Docket No. PC 17-14 (Site Plan & Appearance Approval of Building and Site Modifications)
Plan Commission Meeting – August 10, 2017



Existing conditions of side (south) building façade (looking north)

Burger King – 425 W. Dundee Road

Docket No. PC 17-14 (Site Plan & Appearance Approval of Building and Site Modifications)
Plan Commission Meeting – August 10, 2017



Existing conditions drive-thru configuration (looking southwest)



19 North Greeley Street | Palatine, Illinois 60067
T (847) 359-9616 | F (847) 359-9641
www.wjarch.com

July 5, 2017

Village of Wheeling Community Development
Appearance Review
2 Community Development
Wheeling, IL 60090

Re: Burger King 3953 Remodel
425 W. Dundee Road

Dear Plan Commission:

This cover letter is regarding the Burger King 3953 Remodel located at 425 W. Dundee Road. Our scope of work includes but is not limited to interior finish updates in the customer areas, exterior re-image work and site work. The kitchen is existing to remain.

- **Site work**
 - Existing fence along south side property line to be replaced with new
 - Existing drive-thru menu board to be relocated
 - Existing order speaker to be replaced with new order confirmation unit
 - Existing sidewalks to be replaced with new
 - Existing patio and outdoor seating to be removed; add new landscape/grass area
 - Existing oversized curb sections at drive-thru window to be replaced with new
 - Existing trash enclosure gates to be replaced with new
 - Existing faces of directional signs to be replaced with new; sign post to be painted
 - Existing lot light poles, heads and bases to be painted
 - Existing masonry trash enclosure to be painted
 - New curb sections along revised drive-thru lane and order area
 - Existing 'Burger King' road sign pole and sign cabinets to be painted
 - New ADA ramps
 - Re-stripe all parking spaces, including ADA parking area and add new directional arrows
 - New bike racks
 - New asphalt overlay on existing parking lot

Exhibit received July 19, 2017



19 North Greeley Street | Palatine, Illinois 60067
T (847) 359-9616 | F (847) 359-9641
www.wjarch.com

- **Floor plan**
 - Existing public restrooms to be made ADA compliant and updated with new finishes, including new doors
 - Existing storefront entry doors to be replaced with new
 - Existing drive-thru window to be replaced with new
 - Existing front service counter to be replaced with new
 - Existing kitchen access door to be removed
 - Existing wall finishes, flooring, ceiling finishes and lighting in customer areas to be replaced with new
 - Existing seating and dining tables to be replaced with new; new dining area layout, features, ceiling elements, wall décor, etc.
- **Exterior Elevations**
 - Existing mansard roof to be removed
 - Existing drive-thru overhand to be removed
 - Existing wood paneling below storefront windows to be removed and replaced with new finishes
 - Existing tile around drive-thru window to be removed and replaced with new finishes
 - Existing wood siding at parapet walls and adjacent to main entry to be removed and replaced with new finishes
 - Existing signage to be replaced with new
 - New canopies above storefront windows and at new towers
 - New tower element at north elevation/main entry, including new logo sign and canopy sign
 - New corner tower element at northeast corner, including new logo sign
 - New tower element at drive-thru window
 - Existing light band at top of parapet walls to be replaced with new LED light band
 - Existing brick to be painted
 - New exterior wall sconces

Sincerely,
Tracy L. Willie
Senior Project Manager
Warren Johnson Architects, Inc.



BURGER KING



ISSUE DATES / REVISIONS		
	PERMIT SUBMITTAL	
	BID SET	6/29/17
NO.	DESCRIPTION	DATE

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DRAWN BY:	T. WILLIE
CHECKED BY:	W. JOHNSON
DATE:	4.4.2017
PROJECT No:	17010

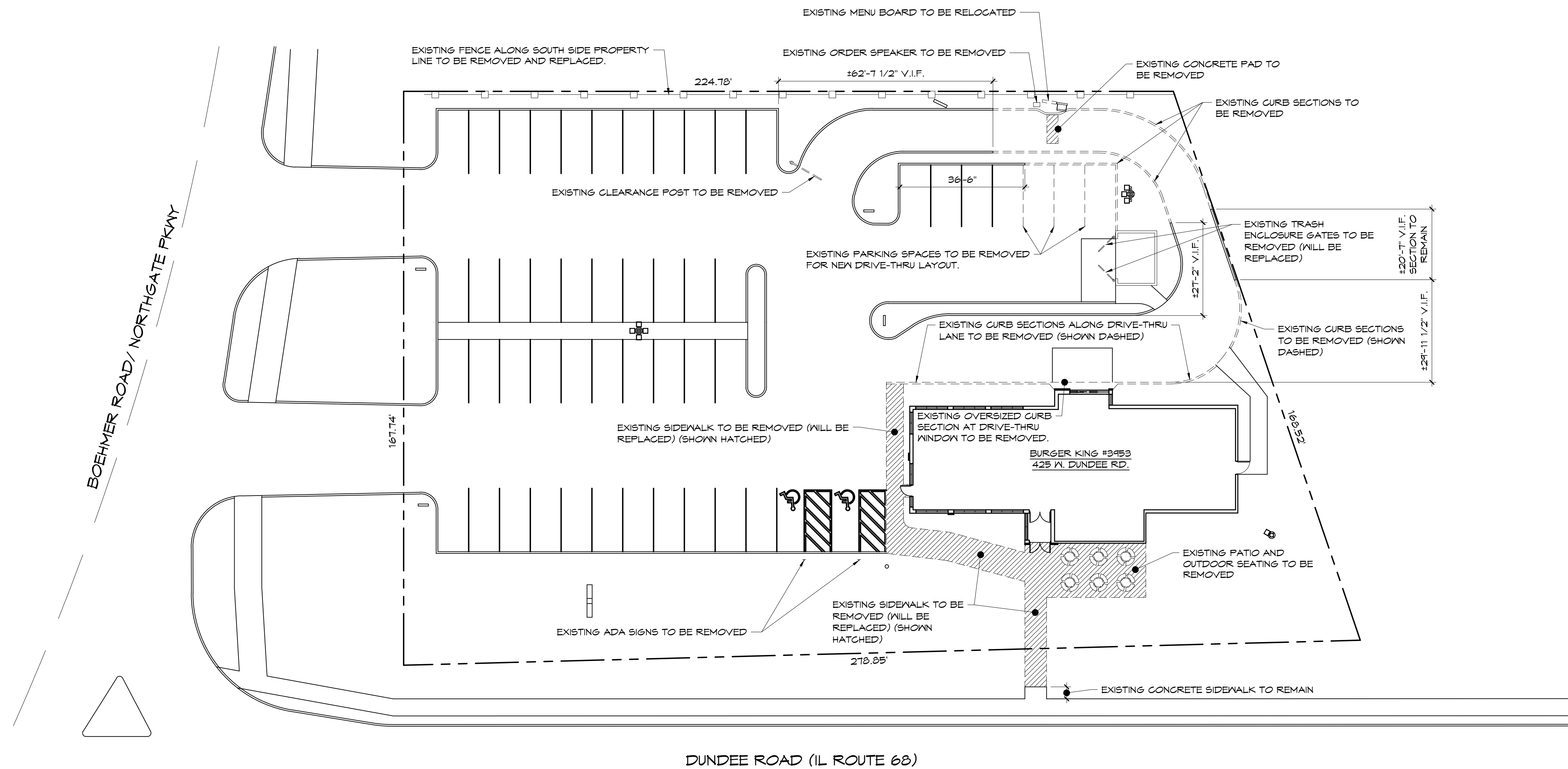
BURGER KING
STORE #3953
425 W. DUNDEE RD.
WHEELING, IL 60090

DEMO SITE PLAN

SHEET

SP-0.1

ONE OF FOUR



G.C. NOTE:
G.C. TO PROVIDE ASPHALT OVERLAY. ASPHALT TO BE REMOVED TO 4.5", APPLY 2" BASE AND 2.5" COMPACTED ON +/- 4,5000 SQ. FT. THE REMAINING CAN BE MILLED TO 3.5" AND OVERLAD. (COORDINATE WITH OWNER). SEE DETAIL 9/SP2. ENTIRE PARKING LOT TO BE RE-STRIPED, RE-SEAL REMAINING PARKING LOT AREAS THAT ARE NOT TO BE OVERLAD. G.C. RESPONSIBLE FOR MAINTAINING, CORRECTING AND/OR ADJUSTING EXISTING GRADES FOR PROPER DRAINAGE AND ADA REQUIREMENTS.

G.C. NOTE:
G.C. TO REPLACE +/- 50 LINEAL FT. OF DAMAGED CURBS.
DAMAGED CURBS TO BE OUTLINED BY TRI-CITY REPRESENTATIVE
AT PRE-CONSTRUCTION MEETING. SEE DETAIL 8/SP2.

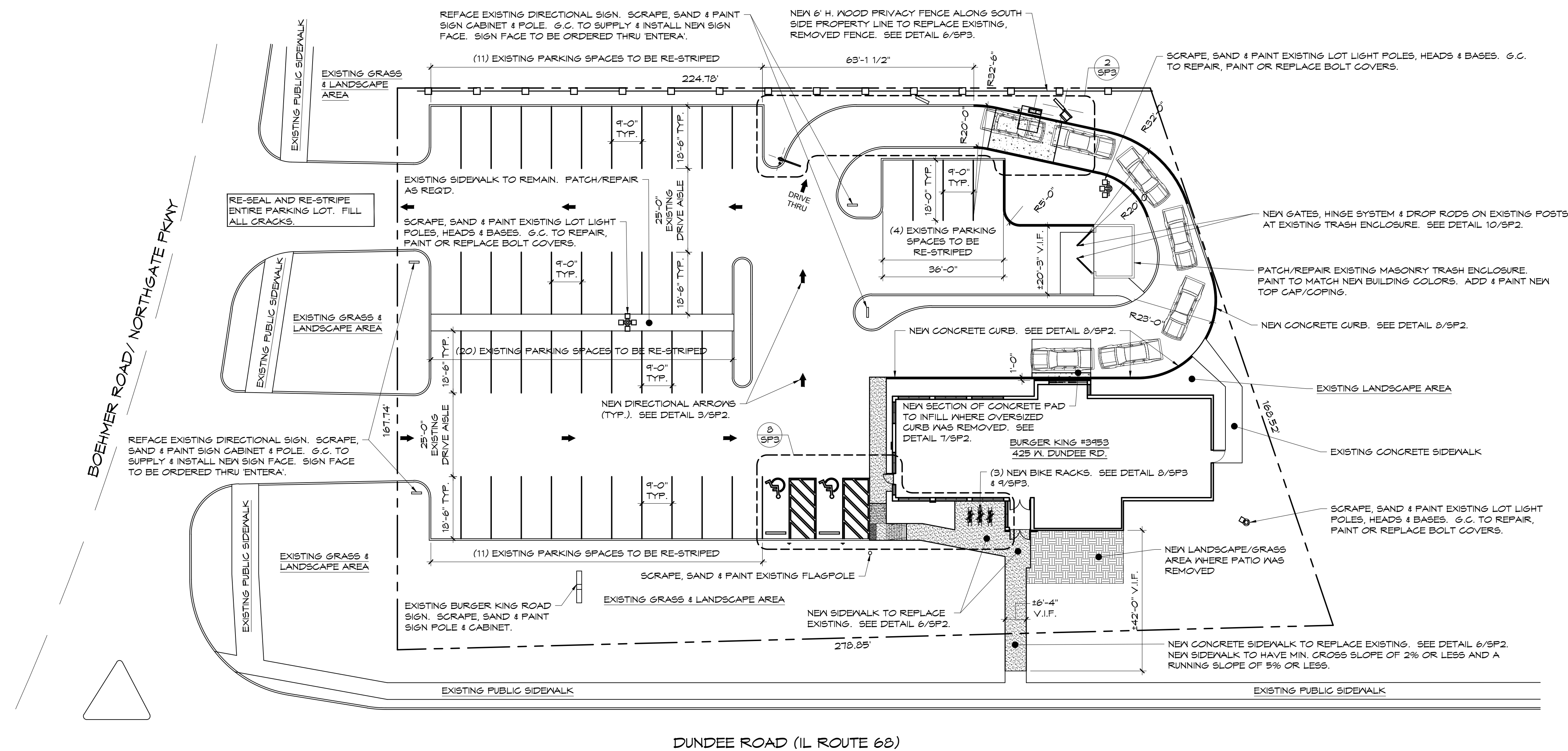
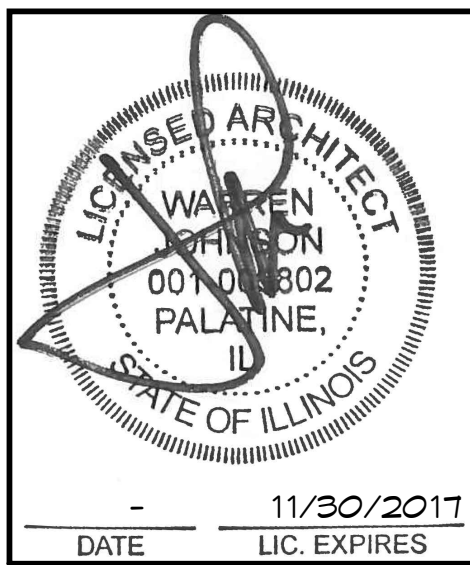
NOTE:
G.C. TO INSURE ALL EXTERIOR FIXTURES ARE
PROPERLY POWERED. G.C. TO TEST AND MAKE
ALL FIXTURE CIRCUITS OPERATIONAL.

NOTE:
ALL FOOTINGS FROM ABANDONED SIGNAGE TO
BE REMOVED 6" BELOW GRADE AND
LANDSCAPED OVER.



DEMO SITE PLAN

SCALE: 1" = 20'



G.C. NOTE:
G.C. TO PROVIDE ASPHALT OVERLAY. ASPHALT TO BE
REMOVED TO 4.5", APPLY 2" BASE AND 2.5" COMPACTED ON +/-
4,5000 SQ. FT. THE REMAINING CAN BE MILLED TO 3.5" AND
OVERLAD. (COORDINATE WITH OWNER). SEE DETAIL 9/SP2.
ENTIRE PARKING LOT TO BE RE-STRIPED. RE-SEAL REMAINING
PARKING LOT AREAS THAT ARE NOT TO BE OVERLAD. G.C.
RESPONSIBLE FOR MAINTAINING, CORRECTING AND/OR
ADJUSTING EXISTING GRADES FOR PROPER DRAINAGE AND ADA
REQUIREMENTS.

G.C. NOTE:
G.C. TO REPLACE +/- 50 LINEAL FT. OF DAMAGED CURBS.
DAMAGED CURBS TO BE OUTLINED BY TRI-CITY REPRESENTATIVE
AT PRE-CONSTRUCTION MEETING. SEE DETAIL 8/SP2.

LEGEND

EXISTING CURB. REPAIR DAMAGED CURBS AS REQUIRED.

NEW CURB. SEE DETAIL 8/SP2.

NEW CONCRETE SIDEWALK. SEE
DETAIL 6/SP2.

NEW CONCRETE DRIVE-THRU PAD.
SEE DETAIL 5/SP2 & 7/SP2.

NOTE:

AT THE ADA PATH OF EGRESS SIDEWALKS, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.

NOTE:

AT THE ADA PARKING STALLS AND ACCESSIBLE AISLES, IT IS THE RESPONSIBILITY OF THE G.C. TO VERIFY THAT THE EXISTING/NEW GRADES MEET ADA COMPLIANCE OF LESS THAN 2% SLOPE IN ALL DIRECTIONS. IT IS THE RESPONSIBILITY OF THE G.C. TO MODIFY THE ASPHALT GRADES TO MEET ADA COMPLIANCE. G.C. TO REQUEST ADDITIONAL ENGINEERING (IF NEEDED) ON DAY (1) OF CONSTRUCTION.



PROPOSED SITE PLAN

SCALE: 1" = 20'

NOTE:

ALL FOOTINGS FROM ABANDONED SIGNAGE TO BE REMOVED 6" BELOW GRADE AND LANDSCAPED OVER.

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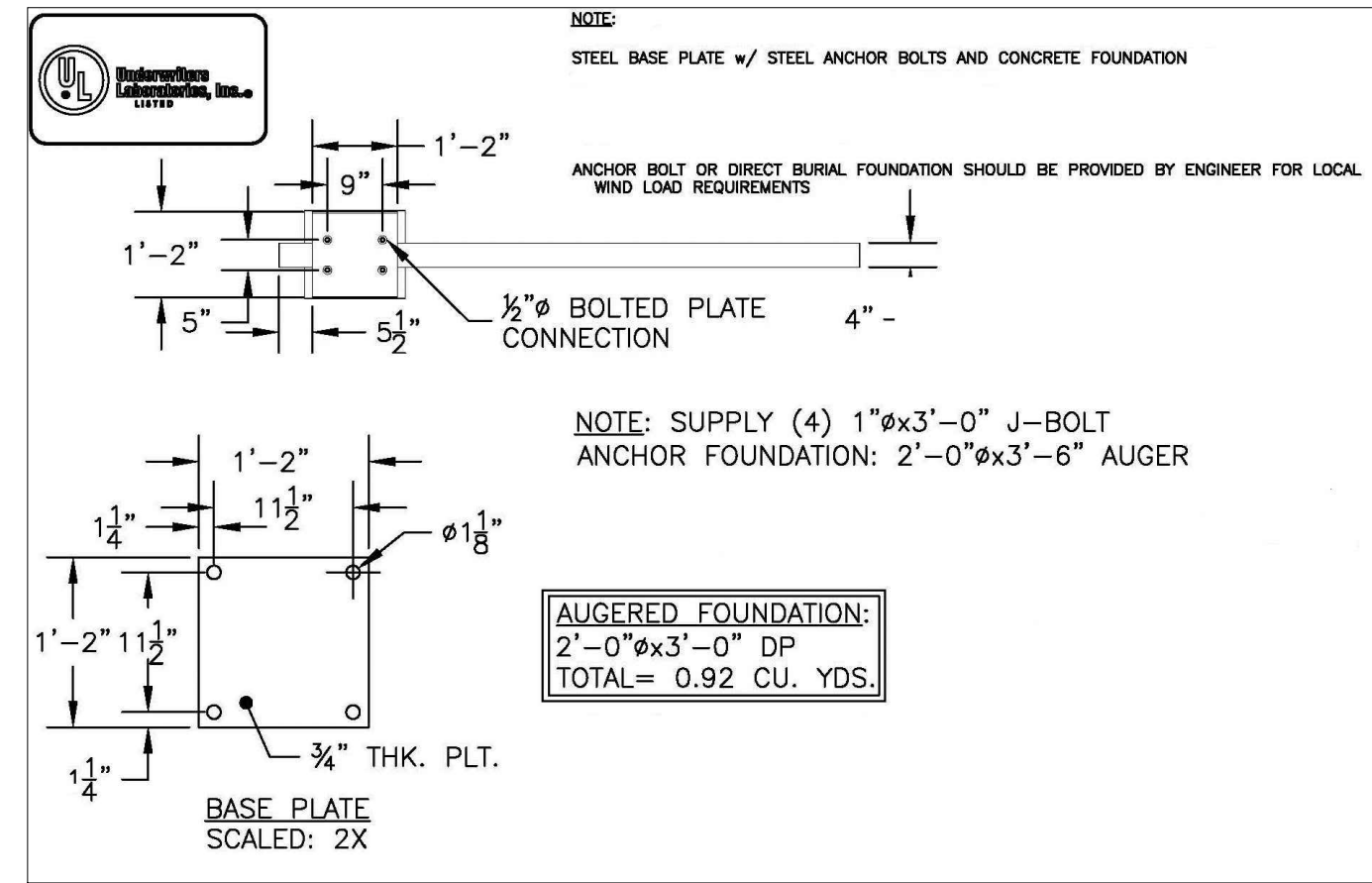
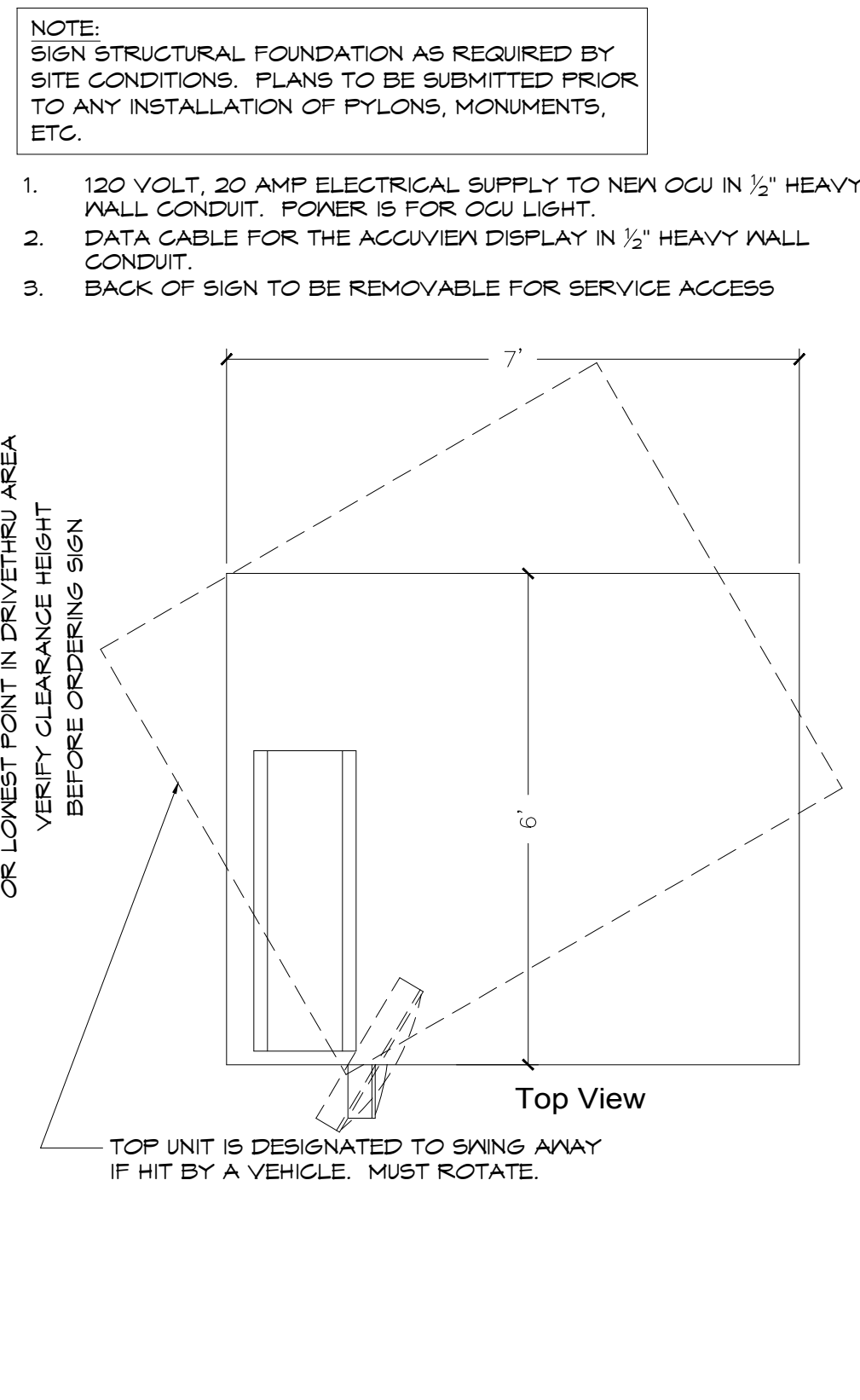
BURGER KING
STORE #3953
425 W. DUNDEE RD.
WHEELING, IL 60090

SITE PLAN

SHEET

SP-1

TWO OF FOUR



ALL PAVEMENT MARKINGS TO BE WHITE
PAVEMENT PAINT, UNLESS STATED OTHERWISE
OR CITY REQUIRES DIFFERENCE COLOR

2'-0" TYP.
2'-0" TYP.
4'-0"
1'-0" TYP.

5'-0"
5'-0"
3'-0" R

4'-0"
5'-0"
1'-0" R

2'-0" TYP.
2'-0" TYP.
4'-0"
1'-0" TYP.

2'-0" TYP.
2'-0" TYP.
4'-0"
1'-0" TYP.

2'-0" TYP.
2'-0" TYP.
4'-0"
1'-0" TYP.

PICK-UP WINDOW

EXIT ONLY

DRIVE-THRU WINDOW

PAVEMENT DIMENSIONS
REFER TO THIS POINT

FINISH GRADE

PARKING LOT SURFACE
AS SPECIFIED

BASE AS SPECIFIED

STABILIZED SUBGRADE
AS SPECIFIED

NOTE:
ALL CURBS TO BE
3000 PSI 28 DAY
CONCRETE

6"
3"
12"
4"
10"
4"

INSTALLATION OF EXTRUDED ASPHALT CURBS AT PARKING
LOT PERIMETERS (ONLY) IS ACCEPTABLE.

8
SP-2

NEW CUR

SCALE: 1" = 1'-0"

The technical drawings illustrate the Speaker Post Assembly with the following components and dimensions:

- TOP VIEW AT SPEAKER POST:** Shows a rectangular loop with a width of 12" and a length of 54". A 1'-6" dimension indicates the distance from the loop to the Order Confirmation Unit (OCU). A note points to the OCU: "ORDER CONFIRMATION UNIT - SEE OCU DETAIL FOR ADDITIONAL INFO."
- SIDE VIEW AT SPEAKER POST:** Shows the vertical assembly. The OCU is at the top, connected to a twisted wire from the loop. Below the wire is the curb line and the 1 1/2" to 2" Belgia Driveway Surface. A 1/2" PVC conduit runs from the loop to the outside menu sign, which is provided by the contractor.
- SANGUIT DETAIL:** A cross-section of the sanguit showing the driveway surface, an embedded sealant (not extending above the surface), a backer rod, and loop wires in the sanguit. Dimensions include 1'-1 1/2" - 2" for the sealant/backer rod area and 1/4" for the wire spacing.

Diagram illustrating a 6" steel pipe pile foundation. The pile is 6" in diameter, filled with concrete, and painted. It is shown embedded in a concrete footing, which is supported by compacted fill. The footing is 2'-0" wide and 3'-0" high. The pile is 3'-0" long. The diagram also shows the pavement surface and the compacted fill.

The diagram illustrates a cross-section of a flexible pavement structure. From top to bottom, the layers are:

- NEW 1 1/2" (MIN) BITUMINOUS CONCRETE SURFACE COURSE PLACED ON SECOND DAY, OR AS DIRECTED BY ENGINEERING DEPARTMENT.** (Indicated by a line pointing to the top layer)
- REPAIR 1 1/2" (MIN) BITUMINOUS CONCRETE BINDER AS NEEDED** (Indicated by a line pointing to a thin layer within the surface course)
- EXISTING 6" (MIN) BAM** (Indicated by a line pointing to the layer below the surface course)
- EXISTING 4" (MIN) SUBBASE GRANULAR MATERIAL, TYPE B** (Indicated by a line pointing to the layer below the BAM)
- EXISTING COMPACTED SUBGRADE** (Indicated by a line pointing to the bottom layer)

The entire structure is labeled **FLEXIBLE PAVEMENT** in the center.

PAVEMENT NOTES:

SECTIONS REPRESENT THE MINIMUM CROSS SECTION ALLOWED. PAVEMENT DESIGN IS PERFORMANCE BASED AS OUTLINED IN SECTION IV G.5.

1. BITUMINOUS CONCRETE SURFACE COURSE SHALL CONFORM TO IDOT MIXTURE D, CLASS 1, TYPE 2 (NO RAP ALLOWED).

FOR ADT LESS THAN 400, USE MIXTURE C, CLASS 1, TYPE 3.

2. BITUMINOUS CONCRETE BINDER COURSE SHALL CONFORM TO IDOT MIXTURE B, TYPE 2.
3. BITUMINOUS AGGREGATE MIXTURE (BAM) SHALL CONFORM TO IDOT MARSHALL STABILITY OF 1100.
4. PORTLAND CEMENT CONCRETE SHALL CONFORM TO IDOT CLASS FV, MIN. 3500 PSI (6.1 BAG MIX) AT 14 DAYS, WITH 5% TO 8% AIR ENTRAINMENT.
5. ALL SUBGRADE SHALL HAVE A MINIMUM ILLINOIS BEARING RATIO (IBR) OF 3.0, AND BE COMPACTED TO AT LEAST 90% MODIFIED PROCTOR DENSITY (ASTM D-1557).
6. MAINTAIN ALL EXISTING GRADES AND ELEVATIONS.
7. REPAIR CATCH BASIN RIMS AS NEEDED.

9
SP-2

PAVEMENT

SCALE: 1/2" = 1'-0"

4" PORTLAND CEMENT CONCRETE

6" x 6" WOVEN WIRE MESH

2" GRADE #4 CRUSHED LIMESTONE

COMPACTED SUBGRADE

Diagram showing a cross-section of a concrete slab on grade. The slab is 4" thick and contains 6" x 6" woven wire mesh. Below the slab is a 2" layer of grade #4 crushed limestone, which sits on a compacted subgrade. The diagram includes dimensions for the slab width (10'0" total, with 5'0" on each side of a central 0'0" section) and the thickness of the layers (4" for concrete, 2" for limestone).

The image contains two technical drawings of a gate structure. The left drawing is a 'PARTIAL GATE SECTION' showing a cross-section of the gate. It features a vertical '2-1/2"X2-1/2" STL TUBE STIFFENER' and a 'PROVIDE DROP ROD 1/4"Ø 30" L6 AT EA. HATE - SEE PARTIAL PLAN AT GATE'. The right drawing is a 'GATE ELEVATION' showing the front view of the gate. It includes dimensions such as '1" SPACE' at the top, '5"' for the upper section height, 'V.I.F.' (Vertical Intermediate Frame) for the main section, 'T" SLEEVE' for the horizontal connection, 'WELD BOTH SIDES' and 'WELD ALL AROUND' for the sleeve, 'EXISTING POST' at the base, '6"X6"X1/8" GUSSET PLATE INSIDE ONLY ALL FOUR CORNERS (TYP)' at the bottom corners, and 'WELD ALL AROUND' for the base. The total height is indicated as '12"'. The bottom of the gate is labeled 'TOP OF SLAB'.

10
SP-2

SCALE: 3/4" = 1'-0"

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CHECKED BY:	N. JOHNSON	
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BURGER KING
STORE #3953
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WHEELING, IL 60090

SITE DETAILS



BURGER KING
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GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY AFTER ANY INCONSISTENCIES OR DISCREPANCIES WITH THE PLANS IN RELATION TO THE EXISTING FIELD CONDITIONS.

-ALL INTERIOR AND STOREFRONT CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE CODES AND ORDINANCES IN PLACE WITHIN THE JURISDICTION OF THE WORK.

-RESTORE ALL DAMAGED FIRE PROTECTION AT STRUCTURE (IF NECESSARY)

-PATCH AND REPAIR ALL PENETRATIONS IN EXISTING FLOOR WITH LIKE MATERIALS, PROVIDE A SMOOTH SURFACE TO ACCEPT NEW FINISHES.

-DO NOT SCALE PLANS.

-CORING OF STRUCTURAL SLAB, AS REQUIRED TO BE IN ACCORDANCE WITH BASE BUILDING ENGINEERING SPECIFICATIONS. SUBMIT ACTUAL PROCEDURES TO LANDLORD PRIOR TO ANY WORK.

-THIS PLAN SHOWS GENERAL DEMOLITION WORK TO BE PERFORMED AND DOES NOT RELIEVE THE CONTRACTOR FROM OTHER DEMOLITION WORK REQUIRED TO PRODUCE THE BUILDING MODIFICATIONS. PROVIDE ALL NECESSARY CONTRACT DOCUMENTS, INCLUDING THE PLUMBING, MECHANICAL & ELECTRICAL DRAWINGS.

-CONTRACTOR REMOVED ITEMS SHALL BE DISPOSED OF PROPERLY OFF-SITE AND IN AN EXPEDITIOUS MANNER.

-IF STOREFRONT DOORS ARE TO REMAIN, G.C. IS RESPONSIBLE FOR THEIR CONDITION DURING THE REMODEL PROCESS.

-PROTECT ALL EXISTING CONSTRUCTION SHOWN TO REMAIN FROM DEMOLITION DURING CONSTRUCTION FOR THE EXTENT OF THE DEMOLITION AND MODIFICATIONS. SHORE & PROTECT AS REQUIRED.

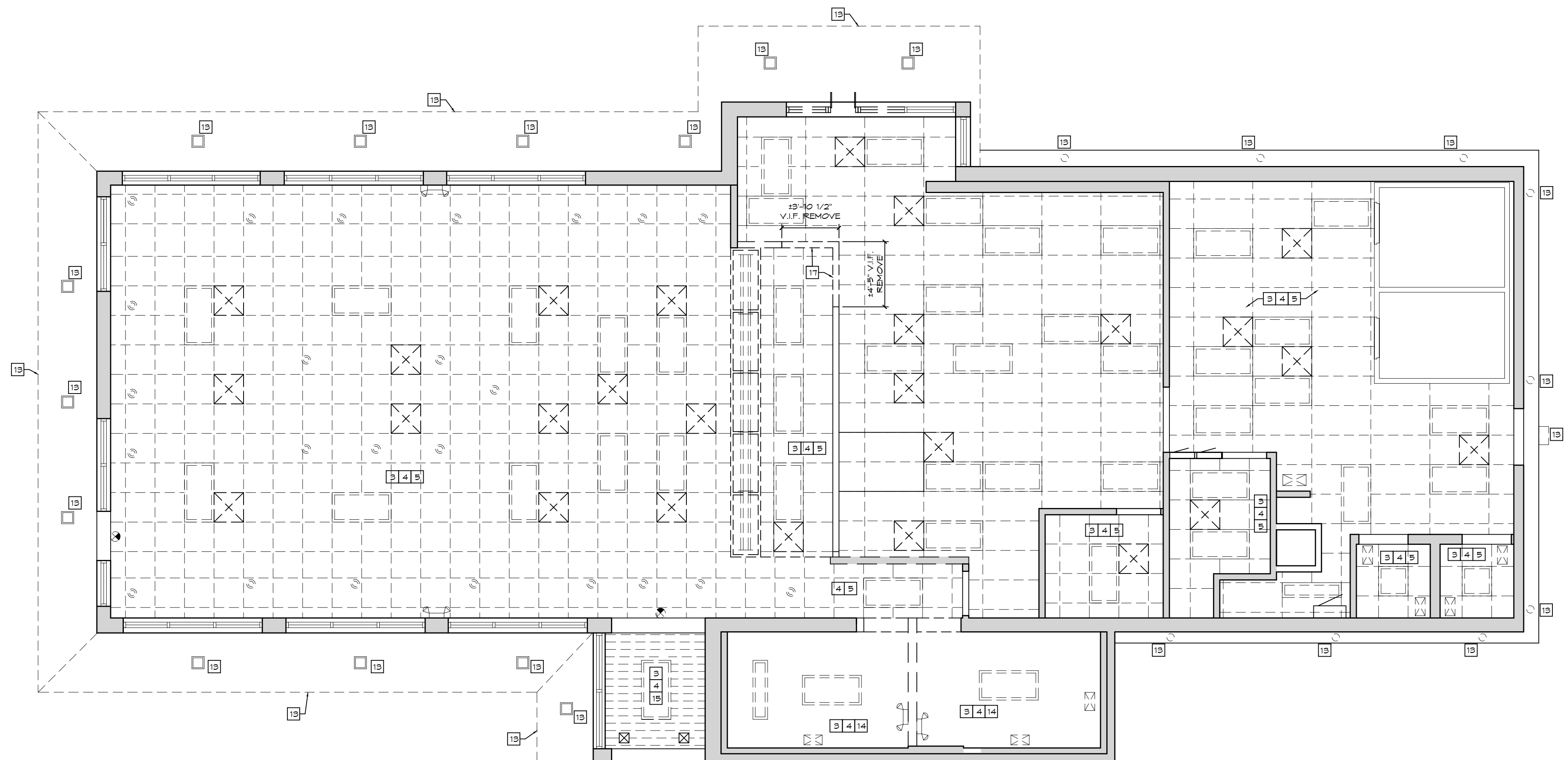
-THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND HAVE CONTROL OVER CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES (UNLESS A SEQUENCE IS SPECIFIED BY THE OWNER OR CONTRACT DOCUMENTS) AND PROCEDURES, AND FOR COORDINATING ALL PORTIONS OF THE WORK.

-SHORING OF STRUCTURE, CORE DRILLING AND/OR TRENCING REQUIRED TO COMPLETE THE WORK DESCRIBED IN THE CONSTRUCTION DOCUMENTS IS CONSIDERED A METHOD OR TECHNIQUE AND IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. IF A REGULATORY AGENCY REQUIRES A LICENCED ENGINEER OR ARCHITECT TO SUPERVISE, APPROVE AND/OR PROVIDE DRAWINGS FOR SHORING, THEN IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO CONTRACT FOR THIS SERVICE AS PART OF THE BASE BID.

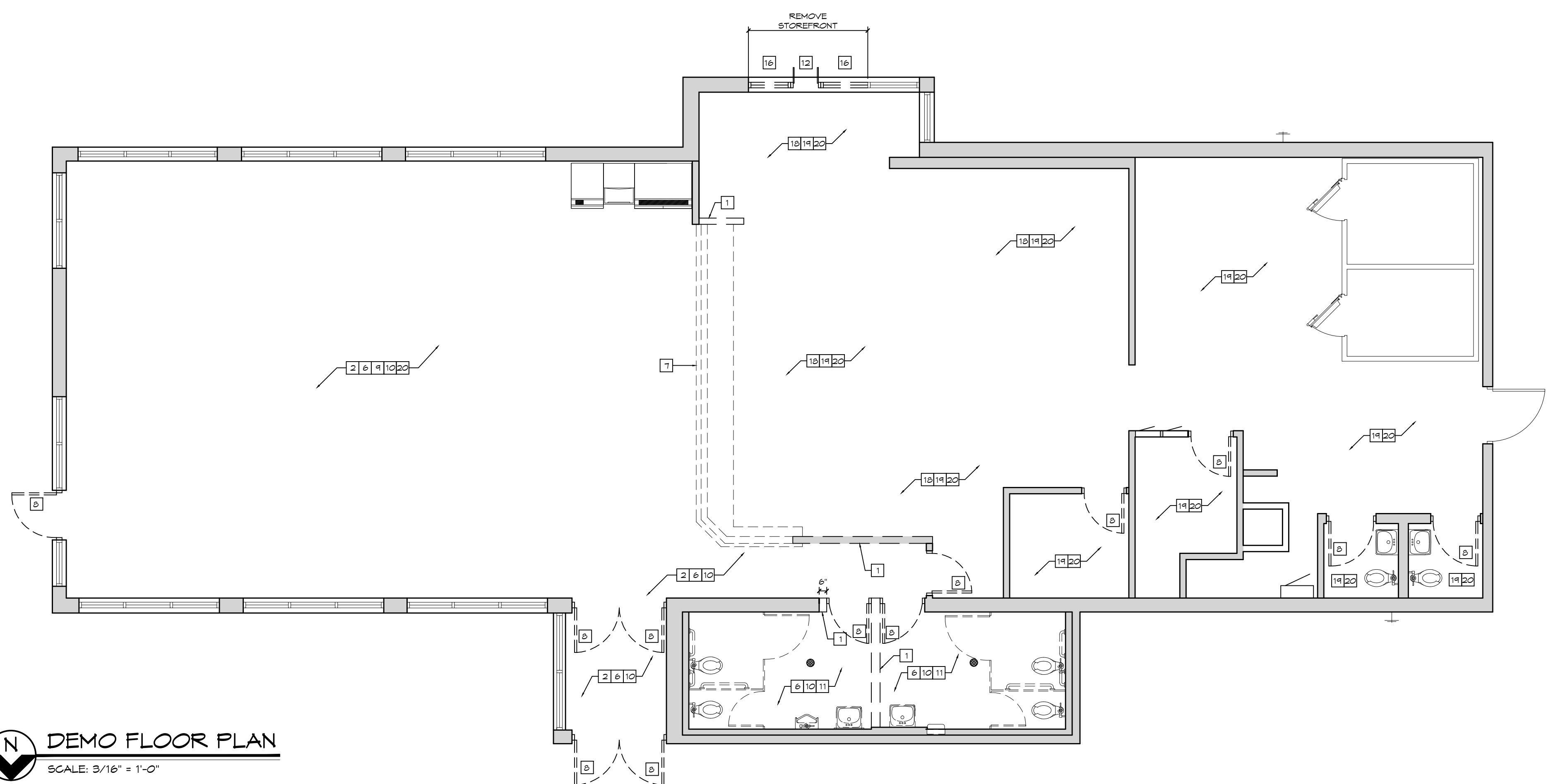
-CONTRACTOR ENCOUNTER SUSPICIOUS MATERIAL OR BECOME AWARE OF THE PRESENCE OF ASBESTOS CONTAINING MATERIALS, THEN THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE KING OF SUCH CONDITIONS. THE CONTRACTOR SHALL NOT PROCEED WITH WORK IN THESE AREAS UNTIL BURGER KING HAS RETAINED A QUALIFIED SPECIALIST CONTRACTOR TO ABATE, ENCAPSULATE OR OTHERWISE ADDRESS THE ASBESTOS-CONTAINING MATERIALS AND WARRANT TO THE CONTRACTOR THAT THE WORK CAN PROCEED IN FULL COMPLIANCE WITH APPLICABLE LAWS AND REGULATIONS.

- 1 REMOVE EXISTING INTERIOR WALLS AS SHOWN. REMOVE ALL ELECTRICAL RECEPTACLES. REMOVE WIRE BACK TO PANEL. CAP & SEAL CONDUITS BELOW SLAB, ABOVE NEW CEILING OR IN WALL.
- 2 REMOVE ALL EXISTING MILLWORK.
- 3 REMOVE EXISTING HVAC DIFFUSERS IN DINING ROOM, RESTROOMS, VESTIBULE, OFFICE, GREN ROOM, DRIVE-THRU, KITCHEN, STORAGE, EMPLOYEE RESTROOMS & SERVICE AREA (WILL BE REPLACED).
- 4 REMOVE ALL EXISTING LIGHT FIXTURES, EXIT SIGNS & EMERGENCY LIGHTS THROUGHOUT DINING ROOM, RESTROOMS, VESTIBULE, CORRIDOR, DRIVE-THRU, KITCHEN, STORAGE, OFFICE, GREN ROOM, EMPLOYEE RESTROOMS & SERVICE AREA (WILL BE REPLACED).
- 5 REMOVE EXISTING CEILING GRID AND CEILING TILES THROUGHOUT DINING ROOM, CORRIDOR, DRIVE-THRU, KITCHEN, STORAGE, OFFICE, GREN ROOM & SERVICE AREA.
- 6 REMOVE EXISTING FLOOR TILE. PREP SLAB TO RECEIVE NEW FINISHES.
- 7 REMOVE EXISTING FRONT SERVICE COUNTER AND HALF WALL.
- 8 REMOVE EXISTING DOOR & FRAME.
- 9 REMOVE EXISTING DECORATIVE INTERIOR HALF WALLS, BOOTHS, CORE-DRILLED TABLES, CHAIRS & MILLWORK THROUGHOUT. REPAIR SUB-FLOOR AS REQUIRED TO ACCEPT NEW FINISHES.
- 10 REMOVE EXISTING WALL FINISHES.
- 11 REMOVE EXISTING TOILET ACCESSORIES, PLUMBING FIXTURES, HAND DRYERS, PARTITIONS AND GRAB BARS.
- 12 REMOVE EXISTING DRIVE-THRU WINDOW. G.C. TO PROVIDE TEMPORARY SUPPORT OF EXISTING CONSTRUCTION, IF REQUIRED.
- 13 REMOVE EXISTING MANSARD, MANSARD SOFFIT LIGHTING, EXTERIOR WALL PACKS & EXTERIOR REAR SOFFIT CAN LIGHTS
- 14 REMOVE EXISTING GYP. BOARD CEILING.
- 15 REMOVE EXISTING CEILING IN VESTIBULE.
- 16 REMOVE EXISTING STOREFRONT. G.C. TO PROVIDE TEMPORARY SUPPORTS OF EXISTING CONSTRUCTION, IF REQUIRED.
- 17 REMOVE PORTION OF MENU BOARD BULKHEAD FOR NEW CONSTRUCTION.
- 18 REMOVE EXISTING WALL TILE IN DRIVE-THRU, SERVICE AREA AND KITCHEN.
- 19 REMOVE EXISTING GROUT AT QUARRY FLOOR TILE, RE-GROUT ENTIRE QUARRY, TILE FLOOR THROUGHOUT SERVICE AREA, DRIVE-THRU, KITCHEN, STORAGE, OFFICE, GREN ROOM AND EMPLOYEE RESTROOMS.
- 20 REMOVE ANY AND ALL ROTTED AND DAMAGED DRYWALL AND/OR FRP.

G.C. DUST BARRIER NOTE:
G.C. TO BUILD A DUST BARRIER PRIOR TO THE START OF CONSTRUCTION, SEPARATING THE KITCHEN AREAS FROM THE CONSTRUCTION AREAS. IF A SECONDARY EXIT DOES NOT EXIST, G.C. TO PROVIDE A STUD 4 PLYWOOD DUST BARRIER WALL WITH A DOOR FOR ACCESS OUT OF THE KITCHEN. THIS WALL NEEDS TO PROVIDE A COMPLETE DUST BARRIER. A PLASTIC BARRIER IS NOT ACCEPTABLE.



 DEMO CEILING PLAN
SCALE: 3/16" = 1'-0"



 DEMO FLOOR PLAN
SCALE: 3/16" = 1'-0"



- 11/30/2017
 DATE LIC. EXPIRES

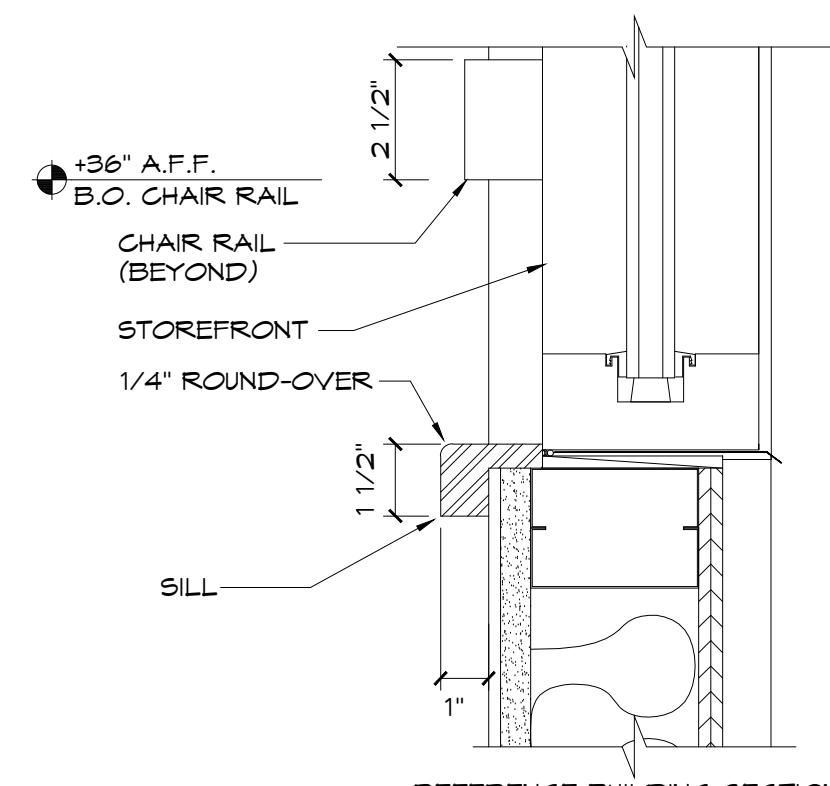


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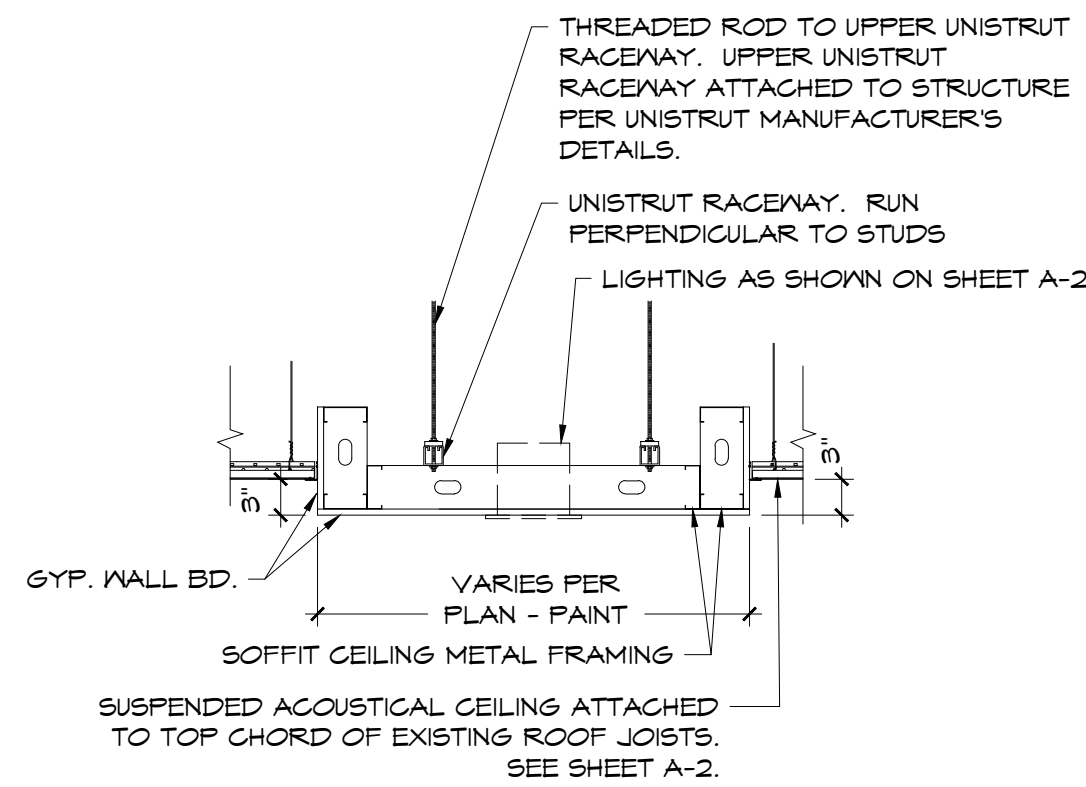
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KEY NOTES

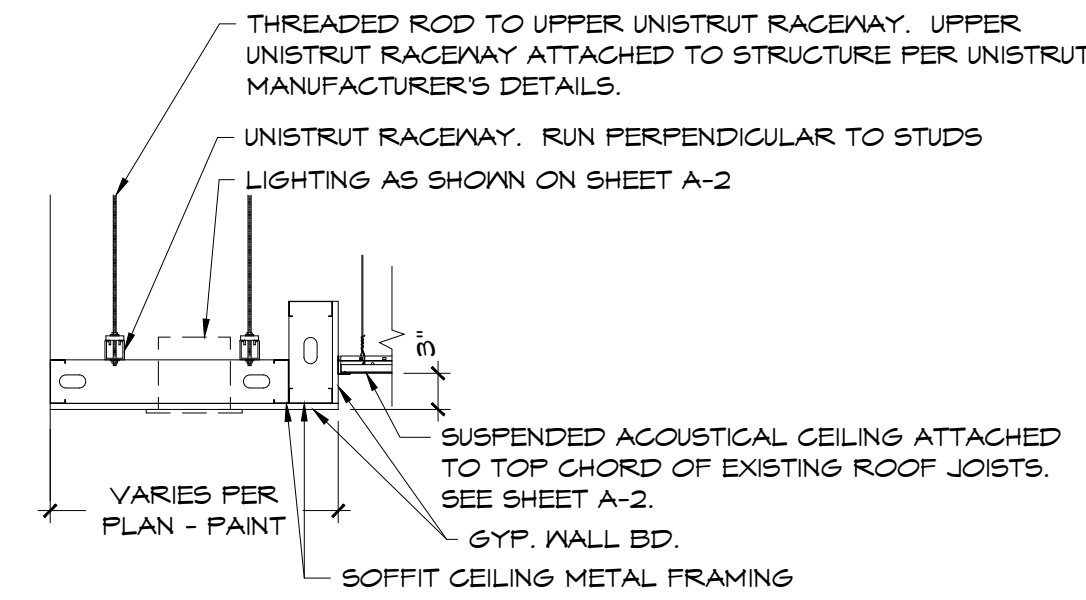
- 1 NEW DOOR & FRAME. SEE SHEET A-7.
- 2 SUBSTRATE PANELS:
KITCHEN - GREN - RESTROOMS
5/8" USG 'DUROCK' PANELS AT FINISH FLOOR TO 2'-0" A.F.F.
5/8" WATER RESISTANT GYPSUM BOARD FROM 2'-0" A.F.F. TO 6" ABOVE FINISHED CEILING.
PROVIDE ALTERNATE BID OF 5/8" USG 'FIBEROCK' PANELS IN LIEU OF DUROCK.
DINING ROOM - CORRIDOR
5/8" TYPE USG 'SHEETROCK', 'X' GYPSUM WALL BOARD.
FINISH: CORONADO PAINT - LIGHT ORANGE PEEL APPLIED W/CORONADO AIR ASSIST TIP (Z-122KD) OR EQUAL
- 3 NEW SERVICE COUNTER. SEE DECOR SHEETS.
- 4 PROVIDE AND INSTALL NEW URINAL. SEE SHEET P-1.
- 5 PROVIDE AND INSTALL NEW LAVATORY, WRAP ALL EXPOSED PIPE. SEE SHEET P-1.
- 6 PROVIDE AND INSTALL NEW WATER CLOSET. SEE SHEET P-1.
- 7 PROVIDE ADDITIONAL BLOCKING IN WALL BEHIND PLUMBING FIXTURES FOR SUPPORT OF WATER LINES (TYP.)
- 8 EXISTING SELF-SERVICE BEVERAGE STATION WITH STAINLESS STEEL TOP TO REMAIN.
- 9 LINE OF NEW ANNING ABOVE. OWNER SUPPLIED & INSTALLED. SEE DETAIL 11/A-5. ALL ANNING DIMENSIONS ARE TO BE FIELD VERIFIED BY MANUFACTURER PRIOR TO FABRICATION.
- 10 PROVIDE NEW FLOOR AND BASE TILE. SEE DECOR DRAWINGS.
- 11 NEW STOREFRONT WITH 1" INSULATED, TEMPERED GLASS. FIELD VERIFY OPENING SIZE PRIOR TO ORDERING WINDOW.
- 12 NEW DRIVE THRU WINDOW. READY ACCESS MODEL NO. 275 (SINGLE PANEL SLIDER SERIES - SLIDER SIZE: 47 1/2" W. X 43 1/2" H.). VERIFY WITH OWNER. FIELD VERIFY OPENING SIZE PRIOR TO ORDERING WINDOW. SILL HEIGHT TO MATCH EXISTING.
- 13 EXISTING HOSE BIB TO REMAIN.
- 14 ICEE MACHINE TO BE INSTALLED ON THE SELF-SERVE DRINK COUNTER. G.C. TO INSURE POWER IS RUN TO MACHINE. G.C. TO VERIFY EXACT LOCATION OF MACHINE WITH OWNER.
- 15 EXISTING KITCHEN FLOOR TILE AND BASE TO REMAIN. PATCH/REPAIR/REPLACE FLOOR AND BASE TILE AS REQUIRED PER NEW CONSTRUCTION. RE-GROUT ENTIRE QUARRY TILE FLOOR THROUGHOUT SERVICE AREA, DRIVE-THRU, KITCHEN, OFFICE, GREN ROOM, STORAGE, & EMPLOYEE RESTROOMS. SEE FINISH SCHEDULE, THIS SHEET.
- 16 PROVIDE AND INSTALL NEW FRP IN DRIVE-THRU, SERVICE & KITCHEN AREA PER FINISH SCHEDULE, THIS SHEET. NEW FRP TO BE INSTALLED AT AREAS WHERE EXISTING WALL TILE WAS REMOVED.
- 17 PROVIDE AND INSTALL NEW DRYWALL AND/OR FRP AT AREAS WHERE ROTTED OR DAMAGED DRYWALL AND/OR FRP WAS REMOVED. NEW DRYWALL PER KEY NOTE #2. SEE FINISH SCHEDULE, THIS SHEET FOR FRP SPEC.



1 SILL & CHAIR RAIL DETAIL
SCALE: 3" = 1'-0"



2 SERVICE COUNTER SOFFIT
SCALE: 3/4" = 1'-0"



3 TYPICAL SOFFIT DETAIL
SCALE: 3/4" = 1'-0"

STORAGE ROOM FINISH SCHEDULE							* SEE INTERIOR BUILDING SPECIFICATIONS ON ID SHEETS FOR MORE INFORMATION.
CODE	MATERIAL	LOCATION	MANUFACTURER	PRODUCT	COLOR	SIZE	
FRP-1L	FIBERGLASS REINFORCED PANEL	BACK OF HOUSE	MARLITE	STANDARD FRP	S100 S25		CONTACT: MIKE FREN AT MARLITE 330.260.7623 EMAIL: MFREN@MARLITE.COM CUSTOMER SERVICE 330.343.6621
GT-10L	QUARRY TILE	BACK OF HOUSE FLOORING	DAL-TILE	QUARRY TILE	0G42 ARID GRAY **ADD ABRASIVE GRAIN	6" X 6"	USE WITH GR-6L
GT-11L	QUARRY TILE BASE	BACK OF HOUSE COVE BASE	DAL-TILE	QUARRY TILE	Q-3565 COVE BASE ARID GRAY	5" X 6"	USE WITH GR-6L
GR-6L	GROUT	BACK OF HOUSE	LATICRETE	SPECTRALOCK 2000 IS	# 45 "RAVEN"		USE WITH GT-10L & GT-11L CONTACT: KIRBY DAVIS AT LATICRETE PHONE: 203.671.1210
TS-1L	TRANSITION STRIP	CERAMIC TILE TO CERAMIC TILE	SCHLUTER SYSTEMS	TRANSITION PROFILES FOR FLOORS	SCHIENE (RADIUS) AE 100 - R, SATIN ANODIZED ALUMINUM 3/8" - 10MM		CONTACT: EARL MAIGUS AT SCHLUTER SYSTEMS PHONE: 800.267.0917 EMAIL: EMAIGUS@SCHLUTER.COM

WALL TYPE LEGEND

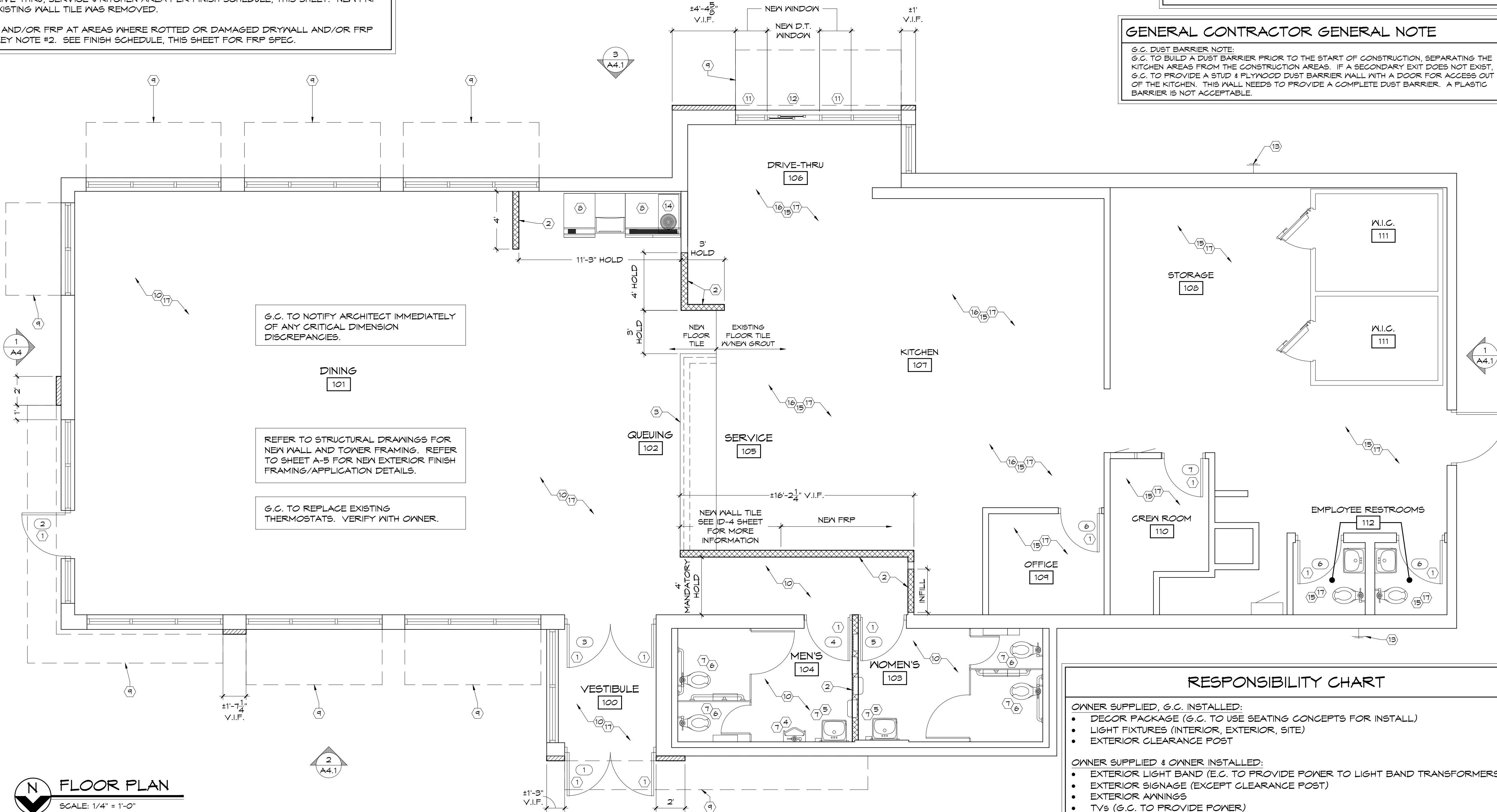
- EXISTING EXTERIOR & INTERIOR WALL TO REMAIN
FINISH AS SCHEDULED
- NEW FRAMING FOR TOWER
TYVEK BUILDING WRAP
1" EXTERIOR GRADE PLYWOOD
REFER TO STRUCTURAL DWGS. FOR FRAMING INFO.
NEW TOWER LEGS TO EXTEND 4" PAST EXISTING
ADJACENT WALL SURFACE. FURR-OUT AS REQ'D.
TO ACHIEVE 4" BUMP OUT
1/2" EXTERIOR GRADE PLYWOOD
FINISH AS SCHEDULED
- NEW INTERIOR WALL
4" OR 6" MTL. STUD FRAMING @ 16" O.C. (PER PLAN)
1/2" SUBSTRATE (AS SCHEDULED)
FINISH AS SCHEDULED

GENERAL CONTRACTOR GENERAL NOTE

G.C. DUST BARRIER NOTE:
G.C. TO BUILD A DUST BARRIER PRIOR TO THE START OF CONSTRUCTION, SEPARATING THE KITCHEN AREAS FROM THE CONSTRUCTION AREAS. IF A SECONDARY EXIT DOES NOT EXIST, G.C. TO PROVIDE A STUD & PLYWOOD DUST BARRIER WALL WITH A DOOR FOR ACCESS OUT OF THE KITCHEN. THIS WALL NEEDS TO PROVIDE A COMPLETE DUST BARRIER. A PLASTIC BARRIER IS NOT ACCEPTABLE.

GENERAL NOTES

- A. EXTERIOR DIMENSIONS ARE TO FACE OF MASONRY. INTERIOR DIMENSIONS ARE TO FINISH.
- B. ALL ANGLED WALLS ARE AT 90° UNLESS NOTED OTHERWISE.
- C. FIRE EXTINGUISHER, SHALL COMPLY WITH APPLICABLE BUILDING CODES AND LOCAL RESTRICTIONS.
- D. ON DAY (1) OF CONSTRUCTION & UPON COMPLETION OF CONSTRUCTION, G.C. TO JET ALL DRAIN LINES, CAMERA AND IDENTIFY ANY UNDERGROUND ISSUES & PROVIDE CHANGE ORDER FOR REPAIRS.
- E. IF STOREFRONT DOORS ARE TO REMAIN, G.C. IS RESPONSIBLE TO THEIR CONDITION DURING THE REMODEL PROCESS.

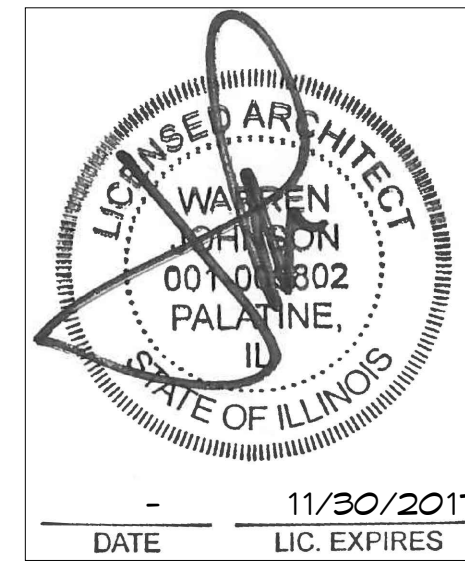


RESPONSIBILITY CHART

- OWNER SUPPLIED, G.C. INSTALLED:
- DECOR PACKAGE (G.C. TO USE SEATING CONCEPTS FOR INSTALL)
 - LIGHT FIXTURES (INTERIOR, EXTERIOR, SITE)
 - EXTERIOR CLEARANCE POST
- OWNER SUPPLIED & OWNER INSTALLED:
- EXTERIOR LIGHT BAND (E.G. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS)
 - EXTERIOR SIGNAGE (EXCEPT CLEARANCE POST)
 - EXTERIOR ANNNINGS
 - TVS (G.C. TO PROVIDE POWER)

WARREN JOHNSON
ARCHITECTS, INC

19 N. Greeley St. Palatine, IL 60067
T (847) 359-9616



BURGER KING



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DATE:	4.4.2017	
PROJECT NO:	11010	

BURGER KING
STORE #3953
425 W. DUNDEE RD.
WHEELING, IL 60090

FLOOR PLAN
AND DETAILS

SHEET

A-1

ONE OF NINE

STEEL KEY

CORE DRILLED

FREE STANDING

MISC. SYMBOLS

FREESTANDING CHAIR

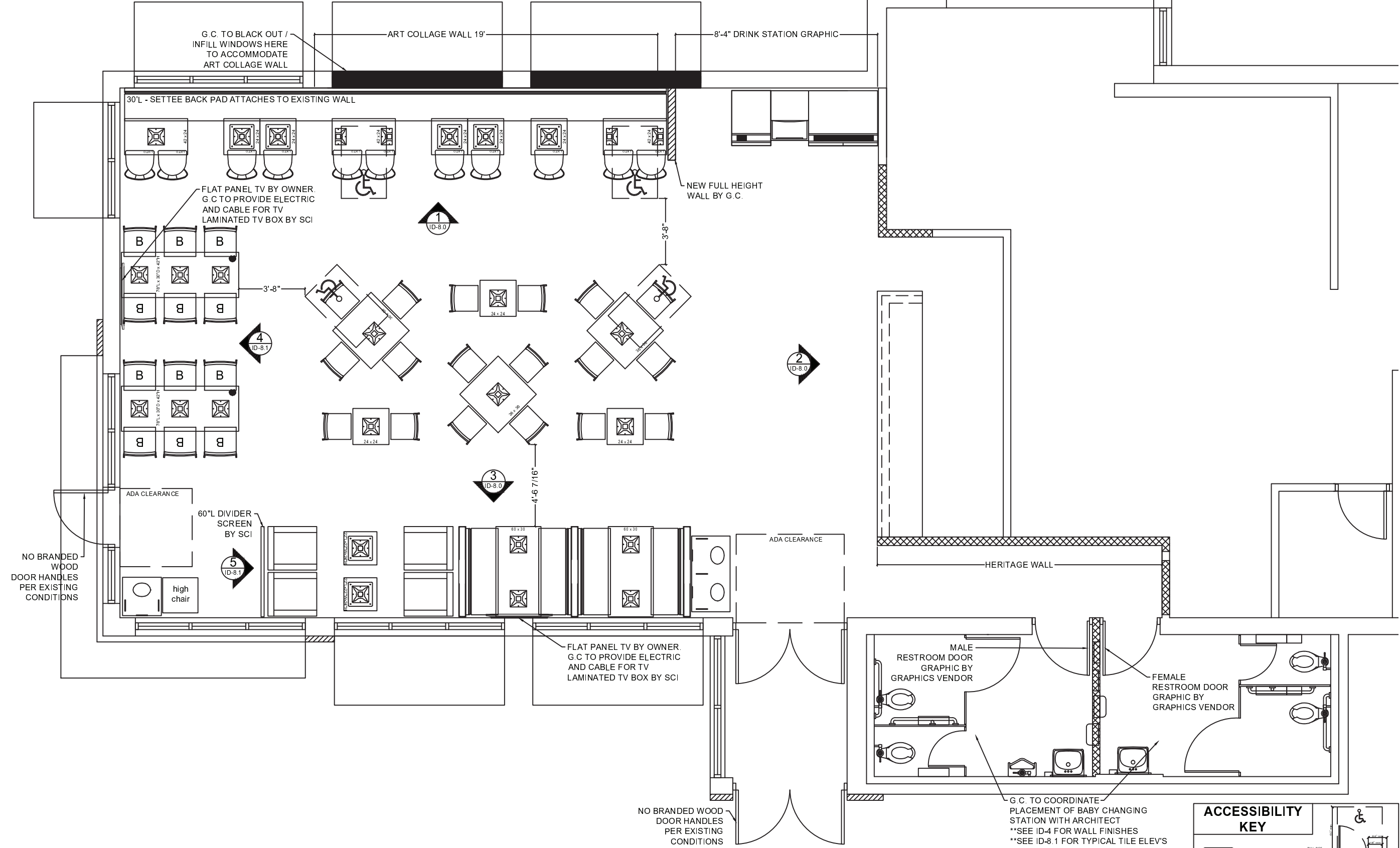
FREESTANDING CHAIR

FREESTANDING BARSTOOL

SOFT SEATING

NOTE: THIS KEY REPRESENTS GENERAL STEEL SYMBOLS. REFERENCE PROJECT SPECIFICATIONS FOR PRODUCT DESCRIPTIONS DETAILED IN PLAN.

** PLEASE SEE ID-3 FOR TABLE TOP LAMINATE GRAIN DIRECTION **



SEATING AND TABLE SCHEDULE	TABLE TOP STYLES	SINGLES	2 TOPS	3 TOPS	4 TOPS	5 TOPS	6 TOPS	8 TOPS	10 TOPS	12 TOPS
	TABLE TOP QUANTITY	2	8	-	6	-	4	-	-	-
SEATING AND TABLE SCHEDULE	SEAT QUANTITY	4	16	-	28	-	24	-	-	-
	TOTAL NUMBER OF SEATS: 68									

FLOOR PLAN KEY

ELEVATION TAG

1 ID-7

SEATING Concepts

125 Connell Ave
Rockdale, IL 60436

www.seating-concepts.com

T: 815.730.7980 F: 815.730.7969

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Project Contacts:

Please contact one of the following Seating Concepts team members to address any concerns you may have:

Customer Service:

Ken Hibben 815.730.7980 x 2253

Mel Randall 815.730.7980 x 2234

Krista Bagley 815.730.7980 x 2219

Interior Design:

Samantha Uthe 815.730.7980 x 2251

Lori Manion 815.730.7980 x 2242

Kimberly Sea 815.730.7980 x 2252

Rita Gear 815.730.7980 x 2235

Deb Paulik 815.730.7980 x 2262

**After delivery of decor if you have any questions please contact customer service at 815.730.7980

BURGER KING

PROJECT: Garden Grill

LOCATION: Wheeling, IL 60090

ADDRESS: 425 W. Dundee Road

STORE #: 3953

DRAWN BY: Lori C. Manion

PROJECT MANAGER: Zach DePyssler

SALES MANAGER: Mel Randall

DATE: 06-06-17

REVISION HISTORY

DATE	REV #	DESCRIPTION	INITIALS
00-00-00	--	--	--

DRAWING TITLE: Seating Layout

SCALE: 3/16" = 1'-0"

ID-2

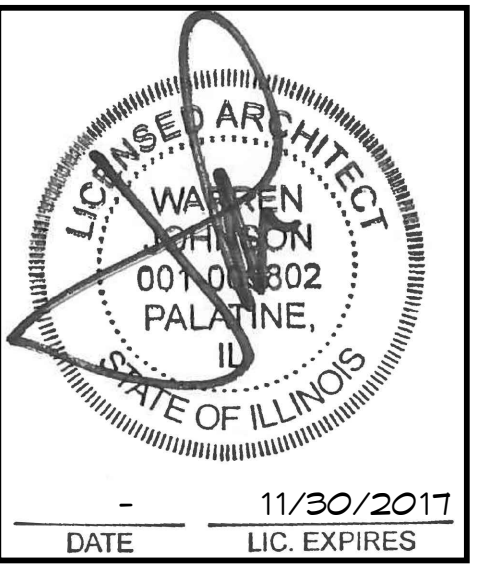
11 x 17 SIZE FORMAT

Exhibit received July 19, 2017

ACCESSIBILITY KEY

ADA COMPLIANT MIN. CLEARANCES AT TABLES

MANEUVERING CLEARANCES AT DOORS



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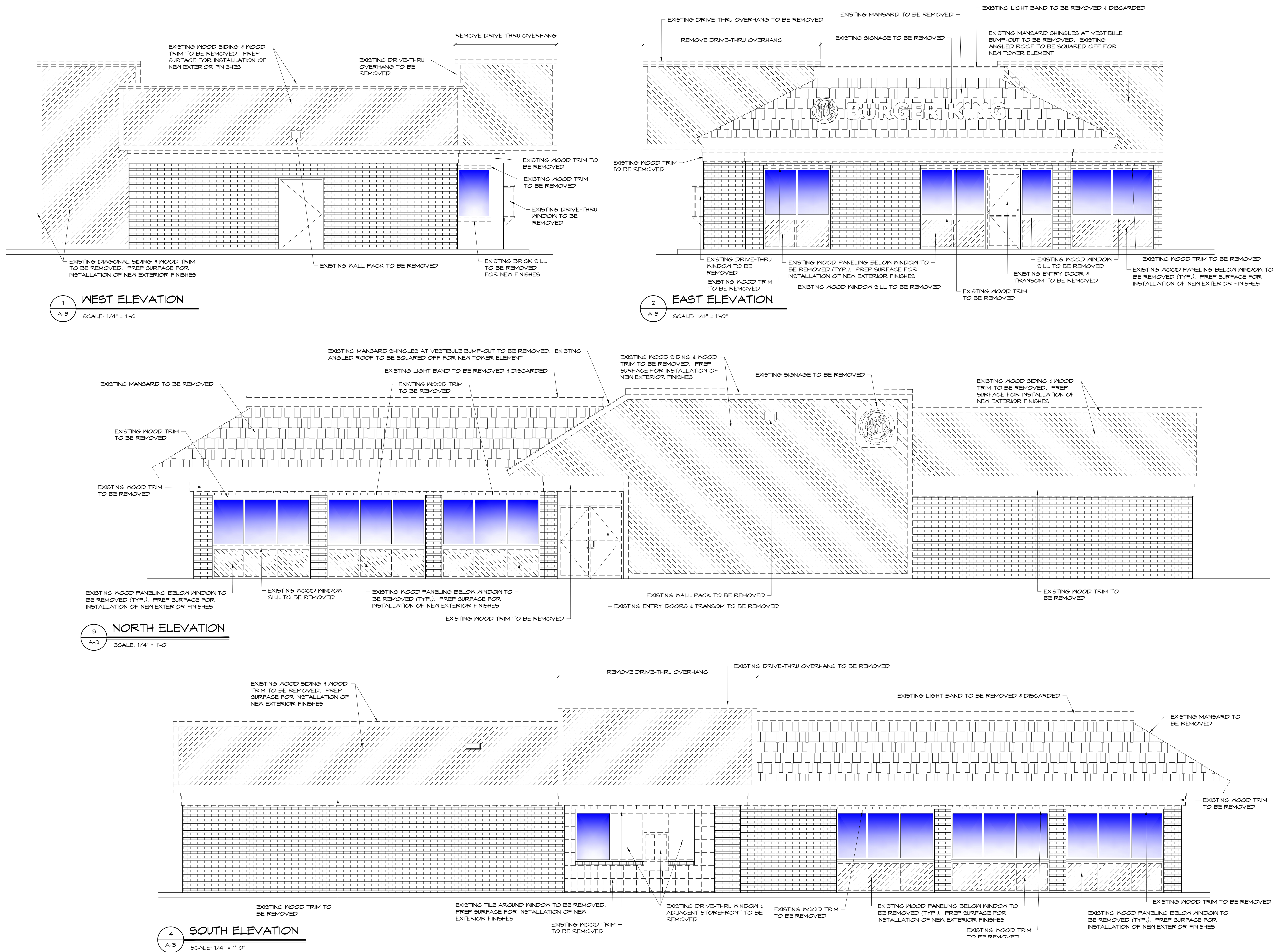
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425 W. DUNDEE RD.
WHEELING, IL 60090

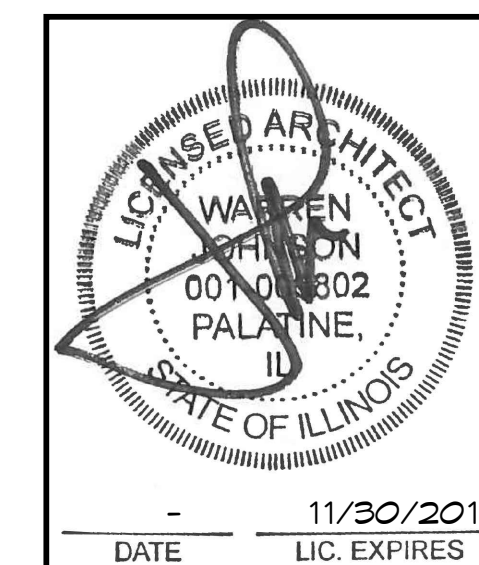
EXISTING EXTERIOR
ELEVATIONS

HEET

A-3

THREE OF NINE





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PROJECT NO:	17010	

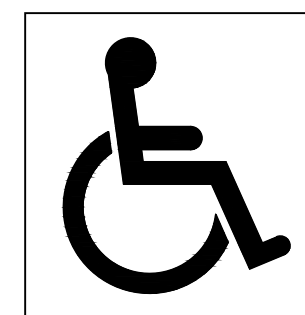
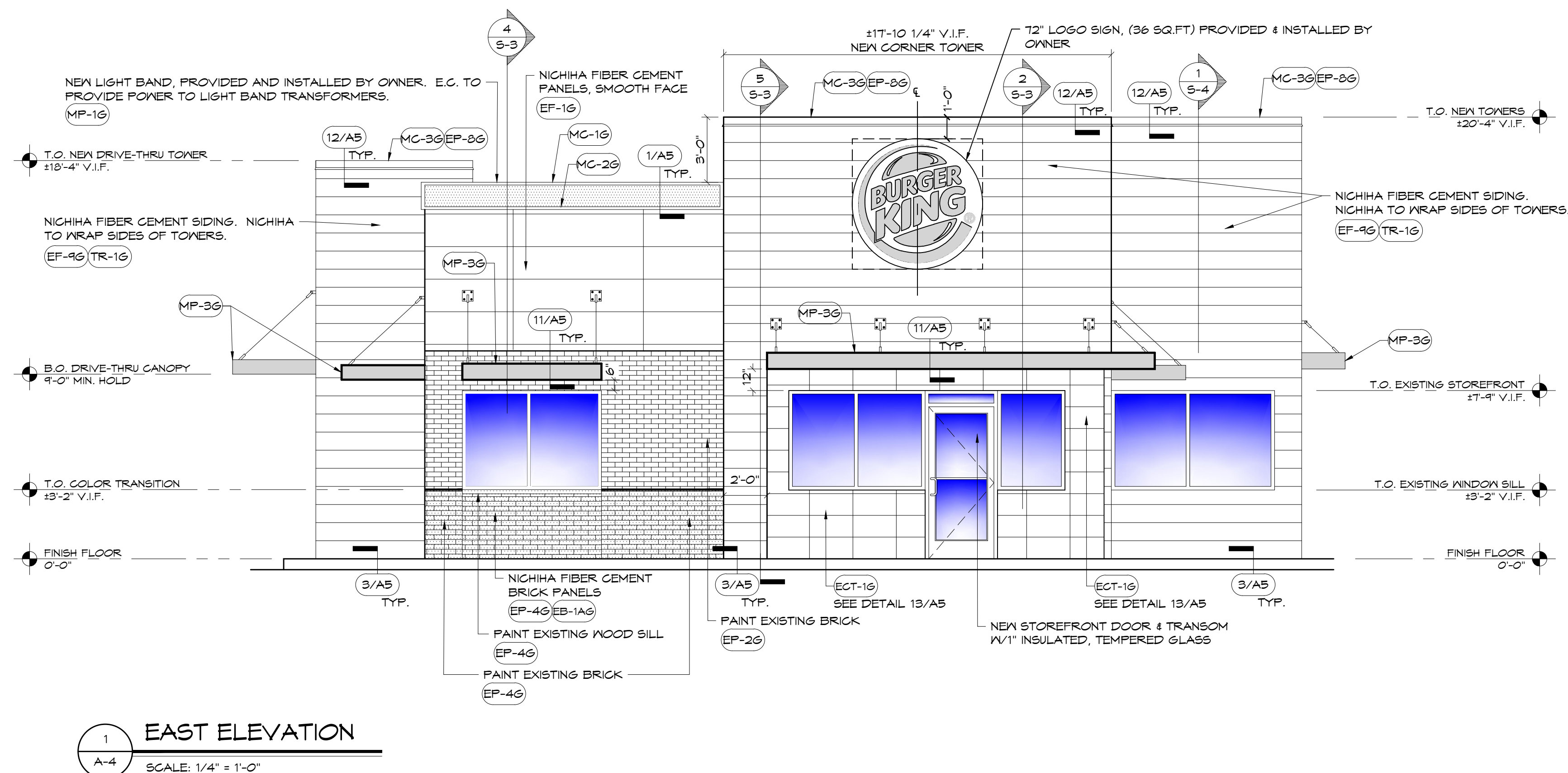
BURGER KING
STORE #3953
425 W. DUNDEE RD.
WHEELING, IL 60090

PROPOSED EXTERIOR ELEVATIONS

SHEET

A-4

FOUR OF NINE



ADA SYMBOL OF ACCESSIBILITY (ISA)
DECAL TO BE LOCATED ON
STOREFRONT GLASS ADJACENT TO
ALL ACCESSIBLE DOORS.

ISA SIGN DECAL DETAIL

SCALE: N.T.S

GENERAL NOTES

1. G.C. TO INSURE ALL EXISTING ROOF DRAINS ARE CLEAR AND PROPERLY CONNECTED.
2. LIGHTING IS OWNER SUPPLIED, G.C. INSTALLED. ANNINGS & LIGHT BANDS ARE OWNER SUPPLIED & INSTALLED. G.C. TO PROVIDE POWER TO LIGHT BAND TRANSFORMERS.
3. SEE SHEET A-5 FOR NEW EXTERIOR FINISH DETAILS.
4. ALL ANNING DIMENSIONS TO BE FIELD VERIFIED PRIOR TO FABRICATION.
5. SIGNS ARE OWNER SUPPLIED & INSTALLED. SIGNS WILL BE APPLIED FOR UNDER SEPARATE PERMIT BY THE SIGN MANUFACTURER / INSTALLER.
6. G.C. TO INSURE ALL EXTERIOR FIXTURES ARE PROPERLY POWERED. G.C. TO TEST AND MAKE ALL FIXTURE CIRCUITS OPERATIONAL.
7. G.C. RESPONSIBLE FOR CONDITION OF ANY EXISTING DOORS TO REMAIN DURING THE REMODEL PROCESS.



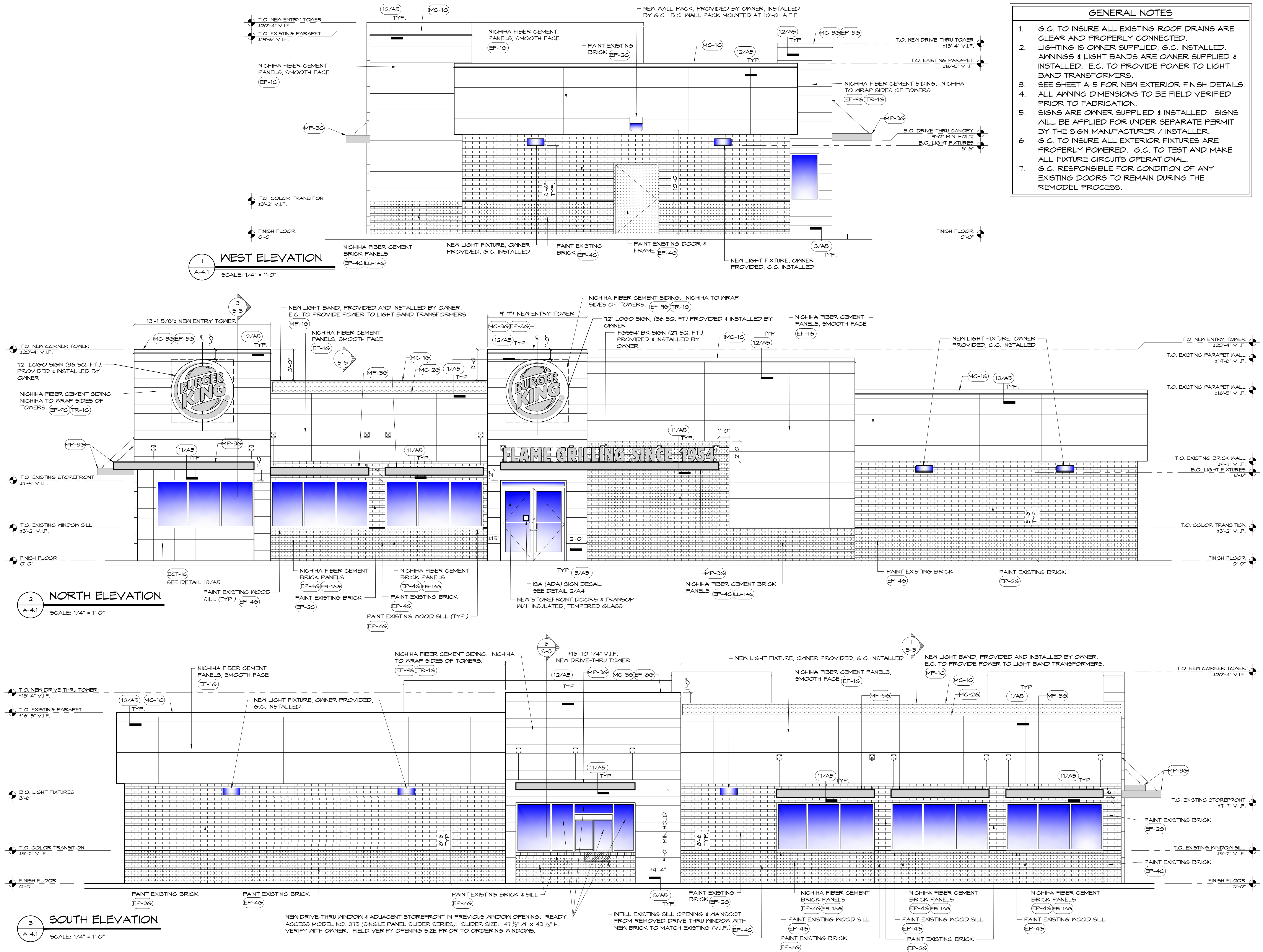
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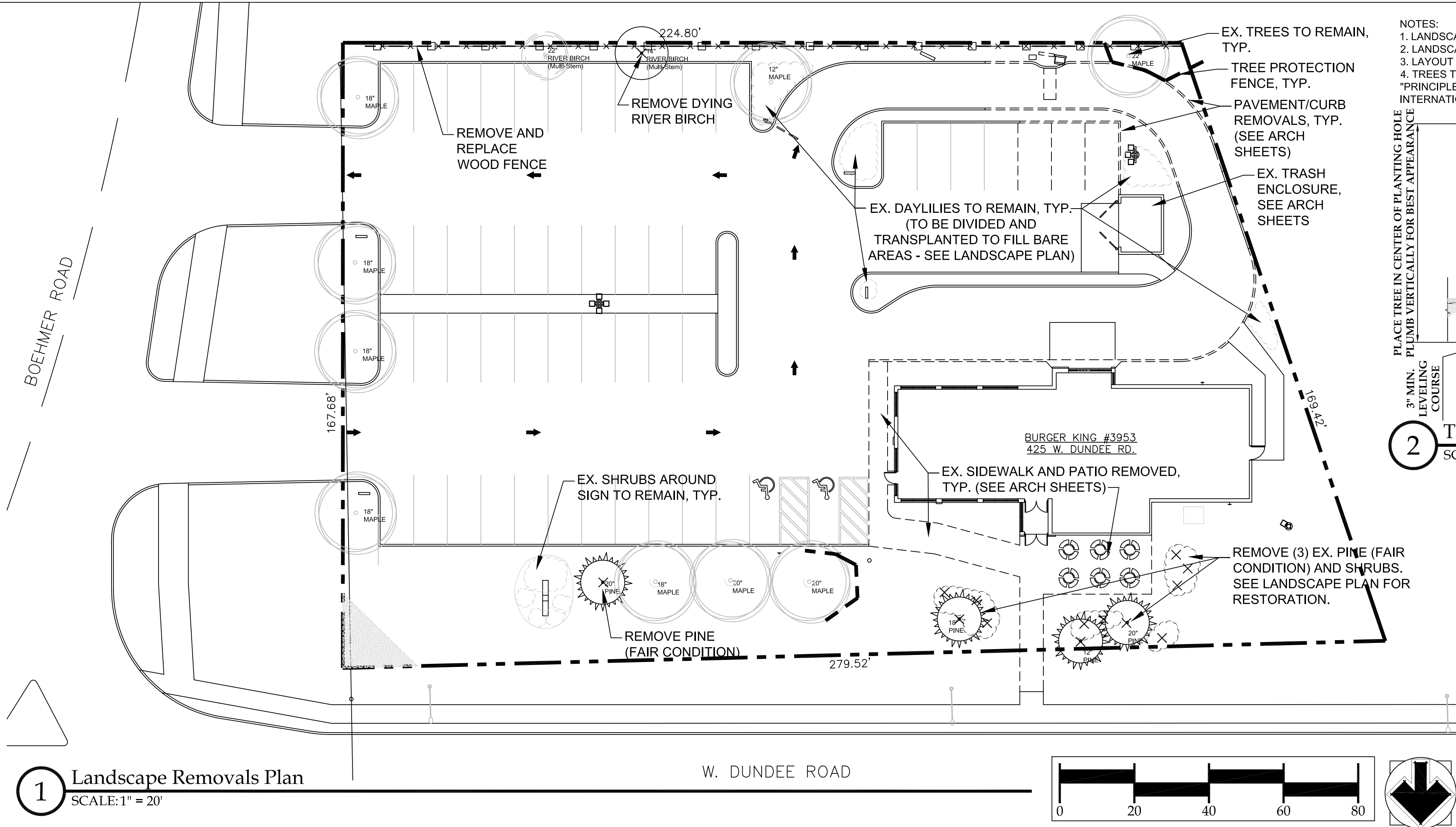
PROPOSED EXTERIOR ELEVATIONS

HEET

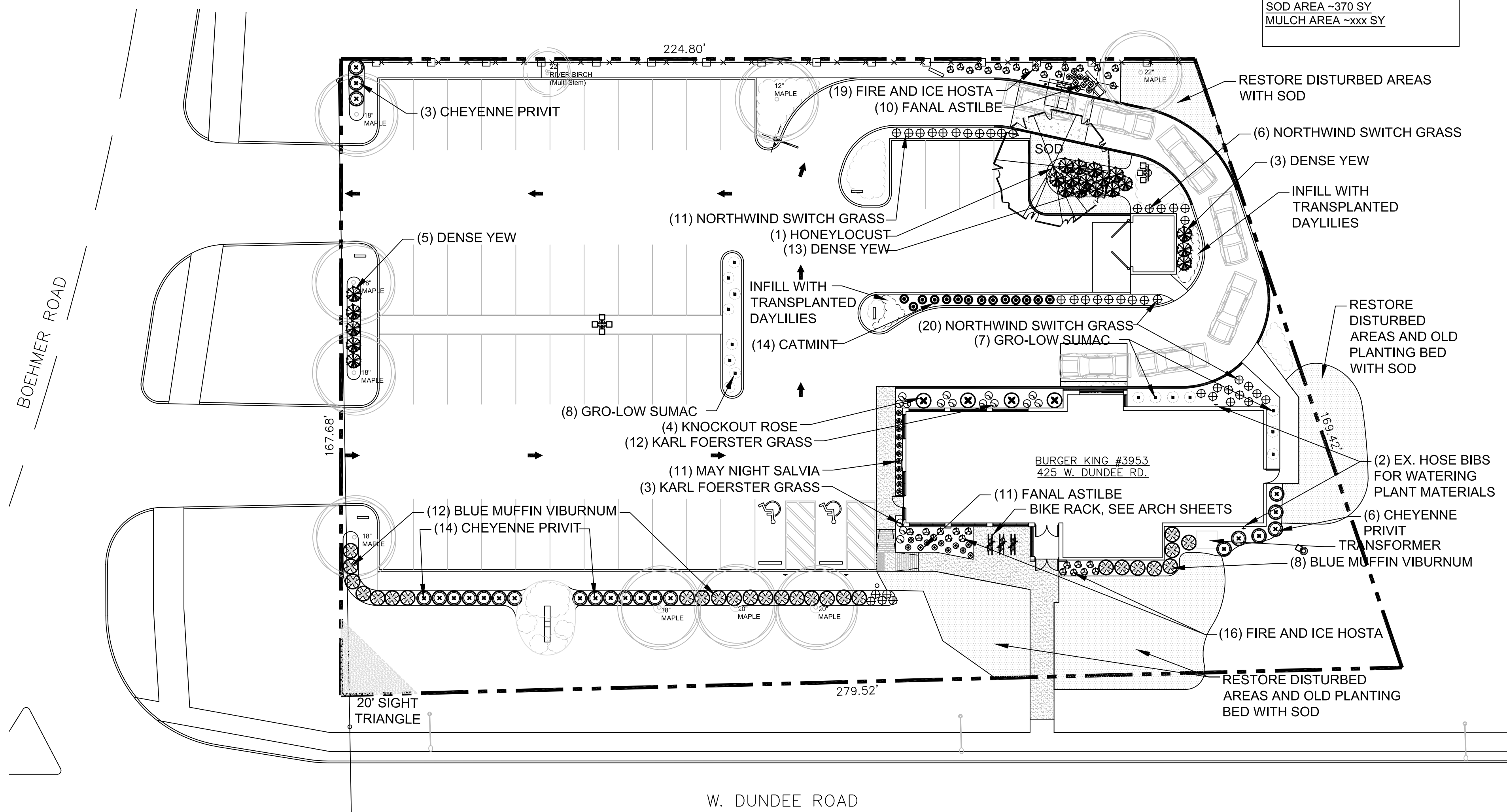
A-4.1

IVE OF NINE

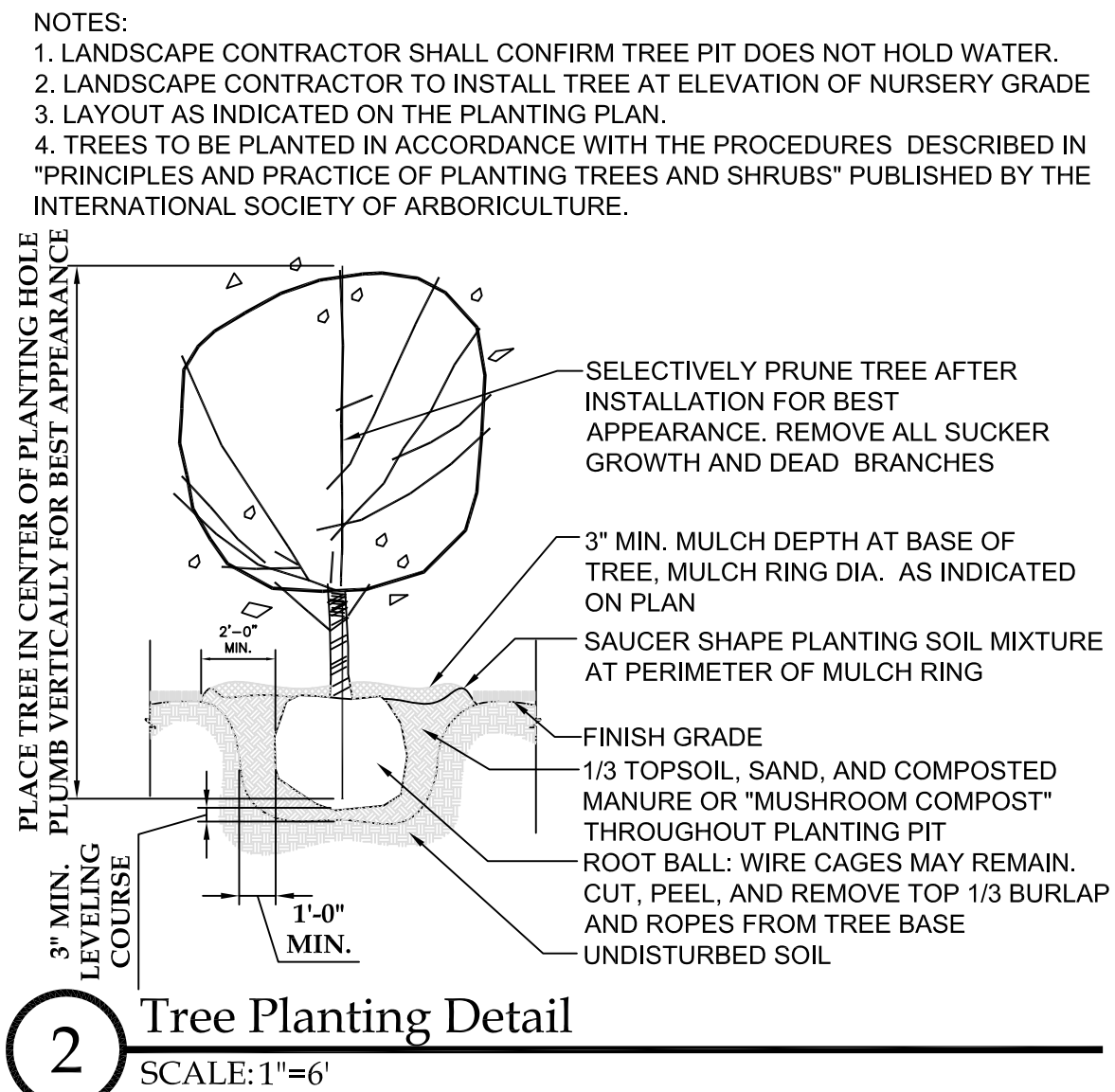




1 Landscape Removals Plan
SCALE: 1" = 20'



2 Landscape Plan
SCALE: 1" = 20'

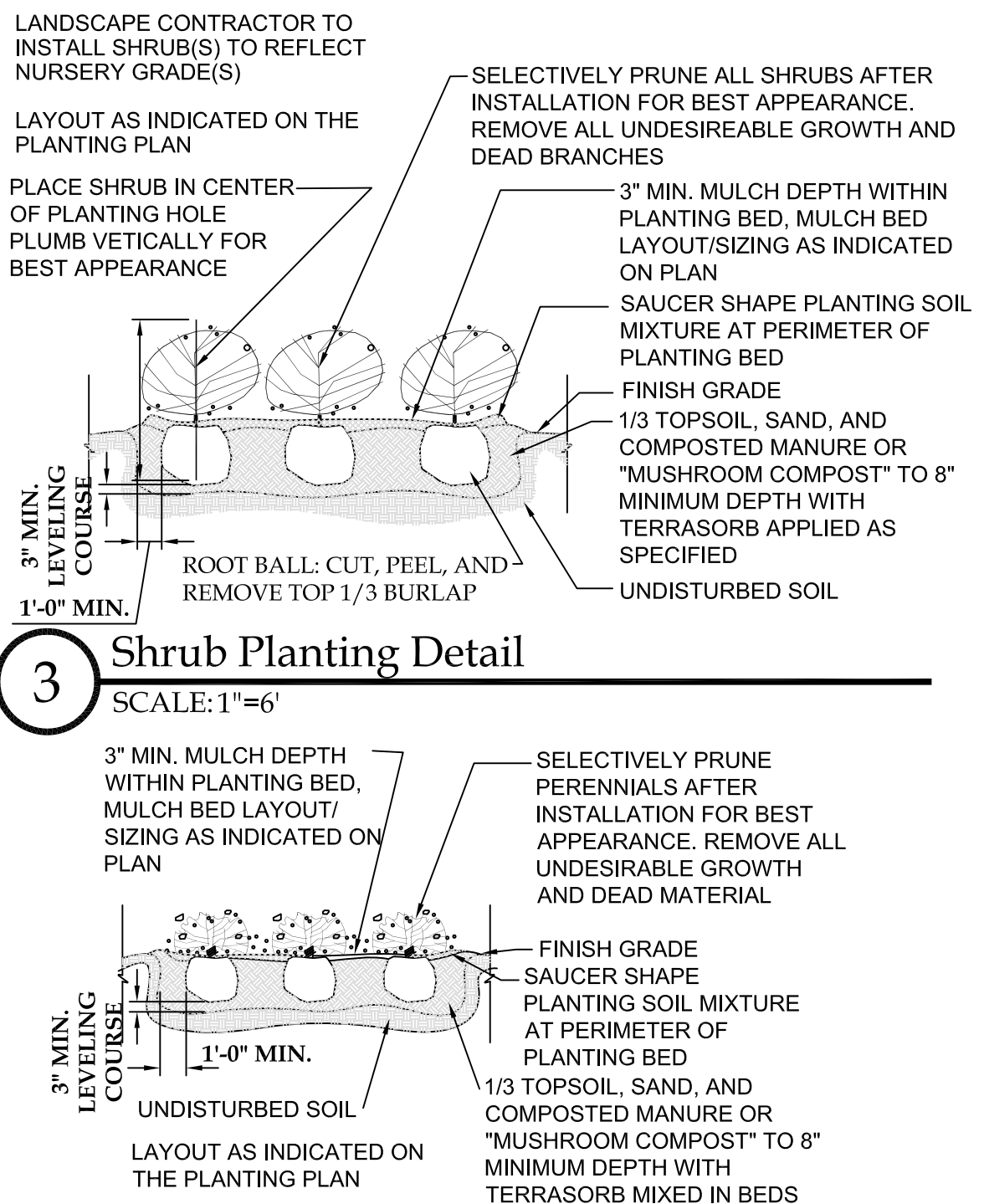


LANDSCAPE GENERAL NOTES:

1. ALL PLANT MATERIAL IS SUBJECT TO AVAILABILITY AND CORRECT SEASONAL PLANTING PROCEDURE. ANY AND ALL SUBSTITUTIONS REQUEST MUST BE SUBMITTED IN WRITING TO THE OWNER'S REPRESENTATIVE PRIOR TO ORDERING SUBSTITUTION MATERIALS.
2. ALL TREE / SHRUB BEDS SHALL RECEIVE MIN. 3" DEPTH OF SHREDDED HARDWOOD BARK MULCH COVER IN PLANTING BED. PERENNIAL PLANTINGS SHALL HAVE MIN. 1" OF MULCH. SPADE EDGE ALL PLANTING BEDS NOT ABUTTING CURB OR PAVEMENT AREA.
3. THE LANDSCAPE CONTRACTOR SHALL STAKE AND LAYOUT ALL INSTALLATIONS AND BEDS FOR APPROVAL BY OWNER'S REPRESENTATIVE. FAILURE TO RECEIVE REVIEW AND APPROVAL MAY BE CAUSE TO REQUIRE THE REMOVAL OF PLANTS AND REINSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
4. THE CONTRACTOR SHALL SUPPLY LANDSCAPE PLANTING SOIL MIX FOR ALL PERENNIAL PLANTING BEDS TO CONSIST OF 1/3 TOPSOIL, 1/3 SAND AND 1/3 COMPOSTED MANURE OR "MUSHROOM COMPOST". THIS MIXTURE IS TO BE ROTOTILLED INTO THE SOIL A MINIMUM OF 8" THROUGHOUT THE BED, AFTER INSTALLATION MULCH AS SPECIFIED ABOVE. CONTRACTOR MUST ALSO WORK INTO SOIL TERRA-SORB HB AT A RATE PER THE MANUFACTURER'S RECOMMENDATION ALL SHRUB AND NON-IRRIGATED TREE AND PERENNIAL BEDS. SUBMIT MANUFACTURER'S LITERATURE FOR APPROVAL PRIOR TO IMPLEMENTATION.
5. ALL PLANTING BEDS SHALL BE PROVIDED WITH WEED BARRIER FABRIC.

Plant List			
SHRUBS			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
"Skyline" Honeylocust	<i>Gleditsia triacanthos var. inermis "Skyline"</i>	1	3" BB
SHRUBS			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
"Cheyenne" Privet	<i>Ligustrum vulgare "Cheyenne"</i>	23	24" BB
"Gro-Low" Sumac	<i>Rhus aromatica "Gro-Low"</i>	15	24" BB
"Knockout" Rose	<i>Rosa "Knockout"</i>	4	#5 Cont.
Dense Yew	<i>Taxus media "Densiformis"</i>	21	24" BB
"Blue Muffin" Viburnum	<i>Viburnum dentatum "Blue Muffin"</i>	27	24" BB
PERENNIALS			
COMMON NAME	BOTANICAL NAME	QUANT	SIZE
"Fanal" Astilbe	<i>Astilbe "Fanal"</i>	21	#1 Cont.
"Karl Foerster" Grass	<i>Calamagrostis acutiflora "Karl Foerster"</i>	15	#1 Cont.
"Fire and Ice" Hosta	<i>Hosta "Fire and Ice"</i>	35	#1 Cont.
"Walker's Low" Catmint	<i>Nepeta racemosa "Walker's Low"</i>	14	#1 Cont.
"Northwind" Switch Grass	<i>Panicum virgatum "Northwind"</i>	42	#1 Cont.
"May Night" Salvia	<i>Salvia superba "May Night"</i>	11	#1 Cont.

Wheeling, IL	
Landscape Requirements	
Off-Street Parking Landscape	
Requirement - One tree for every 15 parking stalls. 48 Parking stalls require 3.2 trees.	
Provided : (5) existing trees to remain in end parking lot islands and one new tree provided in	
Requirement - 20 SF of interior landscape island per parking stall. 48 parking stalls require 960 SF. Min. 25% evergreen plants.	
Provided : 1793 SF of interior parking lot islands provided. 64 new plants provided in the (4) interior islands with 16 being evergreen (25%).	
Requirement - 8' wide greenbelt along street frontage and with a height of 30" at maturity.	
Provided : 30 new and 5 existing provided along the north property line.	
Provided : 11 shrubs provided along east property line.	
Foundation Plantings	
Requirement - Plantings to be include on building facades facing public R.O.W.	
Provided : New foundation plantings provided on all sides of the building facade.	
Bufferyards	
Requirement - Plantings between incompatible uses.	
Provided : Neighboring properties are in the same zoning district so buffer planting are not required.	
Tree Removals	
(4) Heavily limbed pines in fair condition and (1) dying River Birch.	



3 Shrub Planting Detail
SCALE: 1"=6'

4 Perennial Planting Detail
SCALE: 1"=6'

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Landscape Concepts Management
www.landscapeconcepts.com

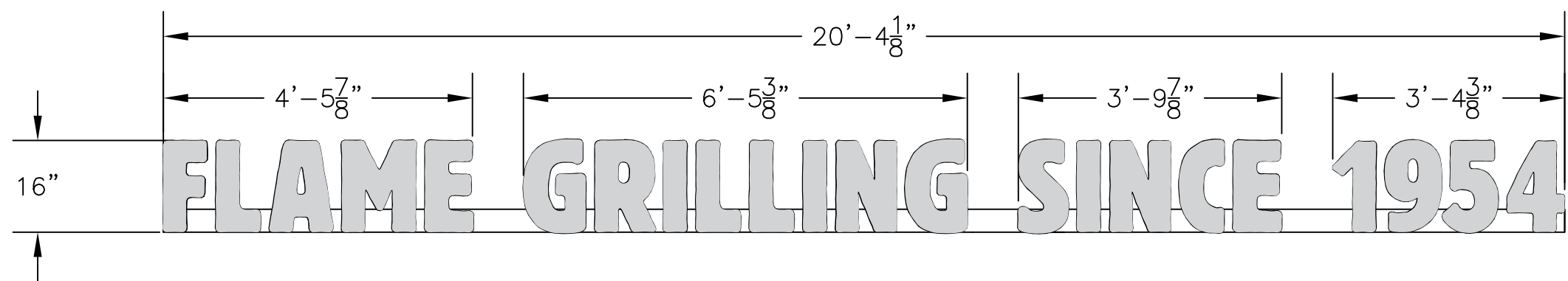
3d design studio
529 N. BARRON BLVD.
GRAYSLAKE, IL 60030
847.223.1891
847.223.1892 (FAX)
info@3ddesignstudio.com

BURGER KING

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CHECKED BY:	W. JOHNSON	
DATE:	4.4.2017	
PROJECT No:	17010	
BURGER KING STORE #3953 425 W. DUNDEE RD. WHEELING, IL 60090		
LANDSCAPE PLAN		
SHEET		
L1		

16" CHANNEL LETTERS



COLOR NOTES:

BACKS: .063 ALUM. PAINT BACKS BRUSHED ALUM. SILVER
PAINT INSIDE LEP WHITE
RETURNS: 3"x.040 PAINTED BRUSHED ALUM. SILVER/
WHITE (STAPLE & CAULK)
TRIM CAP: 1" SILVER JEWELITE TO MATCH RETURNS
FACE: .125 7328 WHITE PCB w/ SILVER PERFORATED
DAY/NIGHT VINYL TO BE APPLIED 1st SURFACE
RACEWAY: .090 ALUM. PAINTED BRUSHED ALUM. SILVER
ILLUMINATION: WHITE GE TETRA MAX LED'S (7100K)

ELECTRICAL NOTE—ACTUAL # OF CIRCUITS TO BE
DETERMINED BY A LICENSED ELECTRICAL CONTRACTOR.

TOTAL AMPS: 1.3

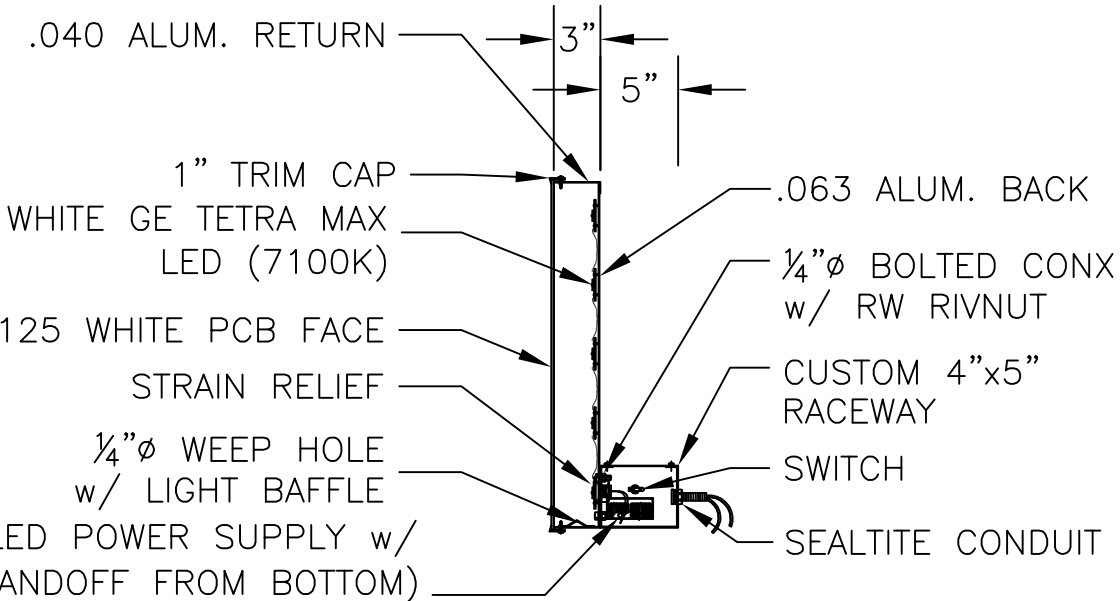
OF CKTS: 1 @ 20 AMP(RECOMMENDED)

VOLTS: 120

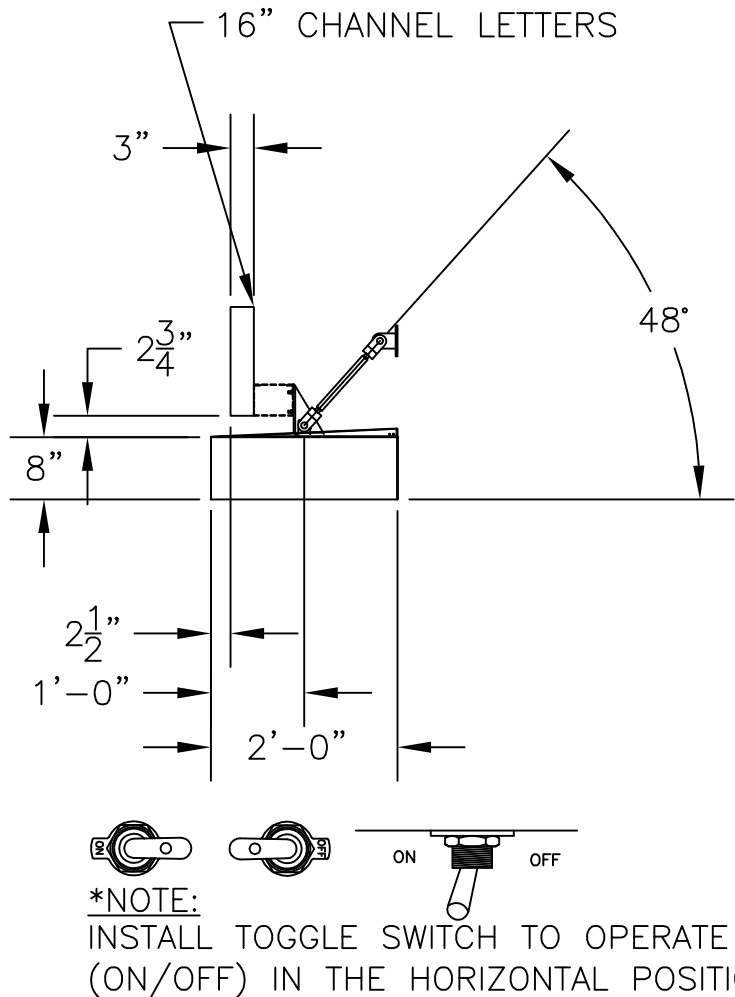
ELECTRICAL CONNECTION AS FOLLOWS:

GREEN TO GREEN (GROUND), WHITE TO WHITE (NEUTRAL), BLACK
TO BLACK (POWER)

ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161 COMPLIANT AND
CARRY (U.L.) LABELS.



SECTION VIEW
NOT TO SCALE
EQUIPMENT GROUNDED



CUSTOMER APPROVAL X

DATE

FILE LOCATION: H: MARKETING DESIGN / CDR / B / BURGER KING / FLAME GRILLING.cdr



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EXHIBITED IN ANY FASHION.

CLIENT: BURGER KING

LOCATION: VARIOUS

DRAWN BY: JMH

SCALE: 1" = 1'-0"

DATE: 3.31.15

DWG. NO.: FLAME GRILLING

Exhibit received July 19, 2017

REV.1 xxxx
REV.2 xxxx
REV.3 xxxx
REV.4 xxxx



20/20 Sign Design Document #1

Revised 06/04/2012



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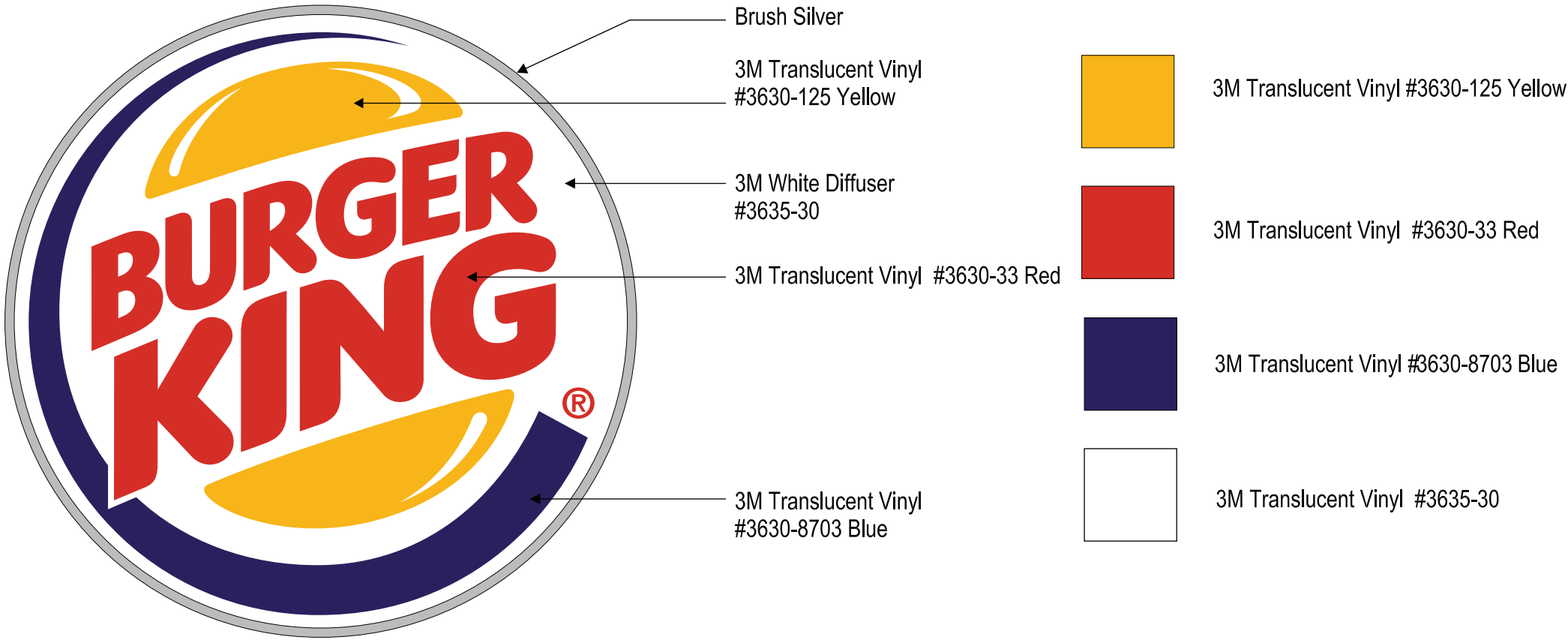
BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

Burger King requires that an " ☒ Approved" drawing be obtained from the client prior to any production release or production release revision.

- ☐ Approved
- ☐ Revise & Resubmit

Name	Exhibit received July 19, 2017
Title	Date



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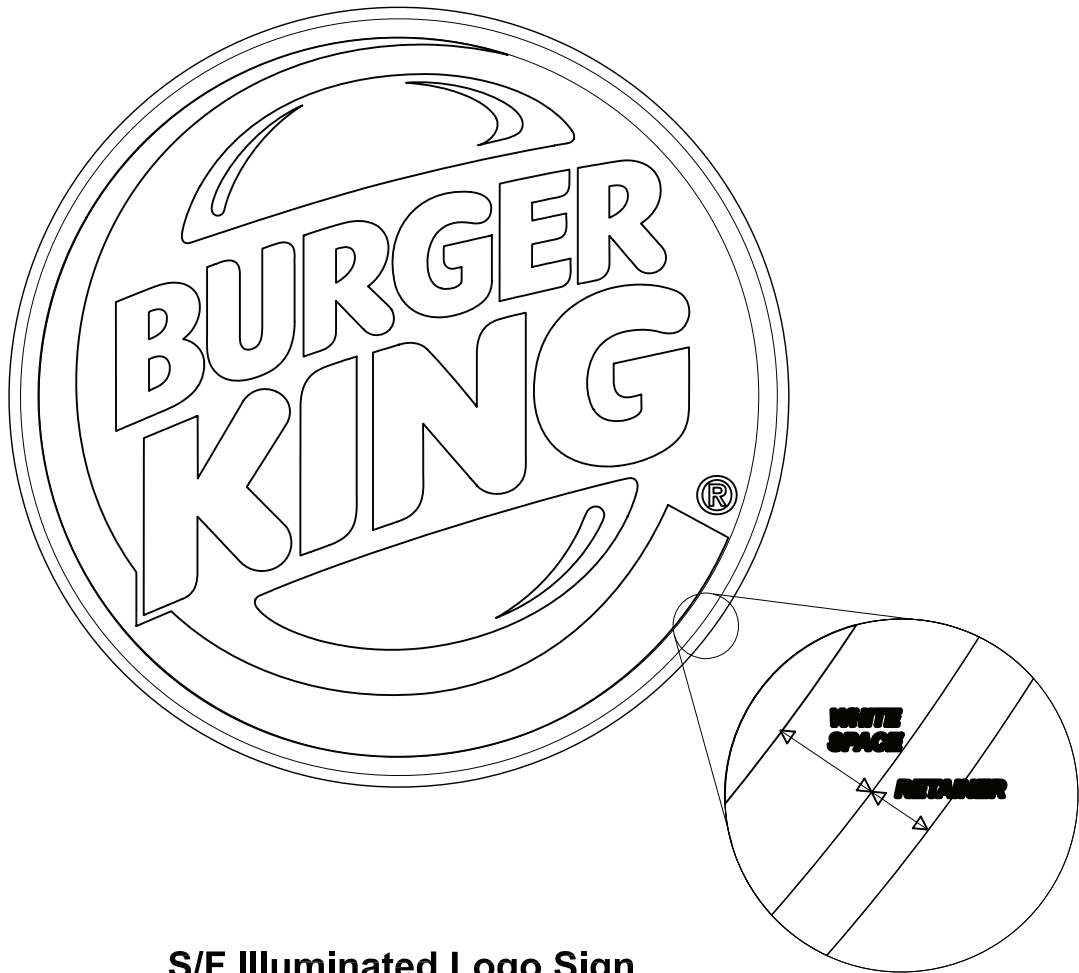
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S/F Illuminated Logo Sign

FRONT ELEVATION - SCALE: NOT TO SCALE

Note: Refer to page 1 for colors

20/20 & Standard 1999 Size Specifications

dia. of sign	retainer	white space
2'	.5"	.5"
2'-6"	.5"	.75"
3'	.5"	1"
4'	1"	2"
5'	1"	2.5"
6'	1"	3"
8'	2.5"	3.5"
10'	2.5"	4"
12'	2.5"	4.5"
16'	3"	5"

TOLERANCE FOR RETAINER: 1/8"

NOTE:
All LED lighting to meet GE lighting specifications or Equal to.

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BURGER KING
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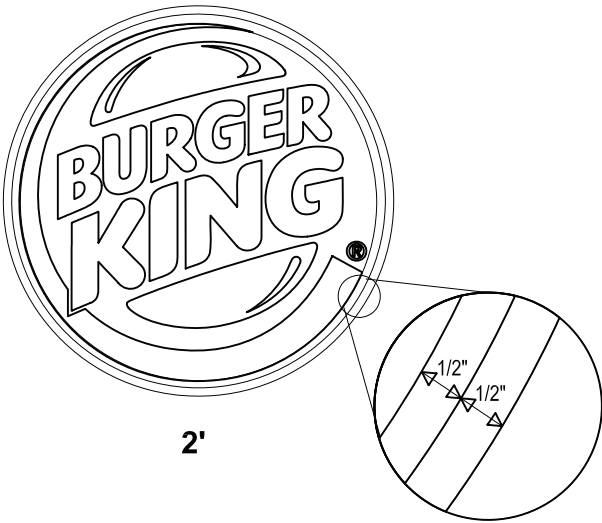
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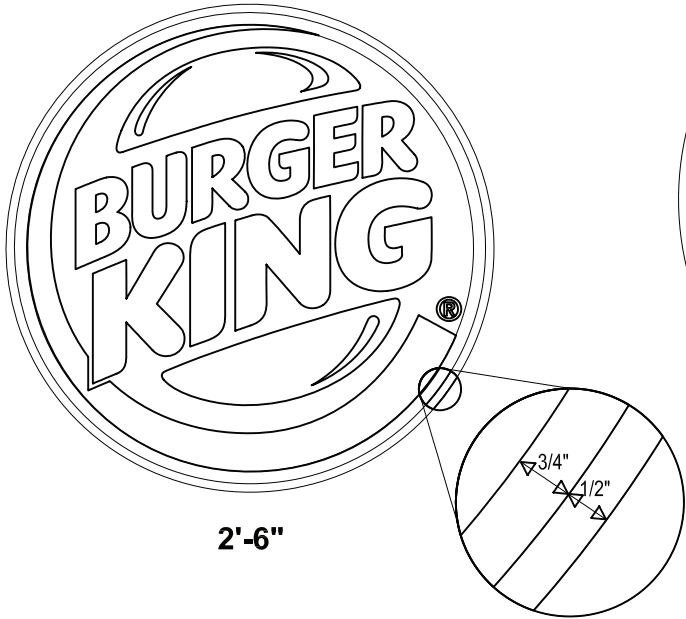
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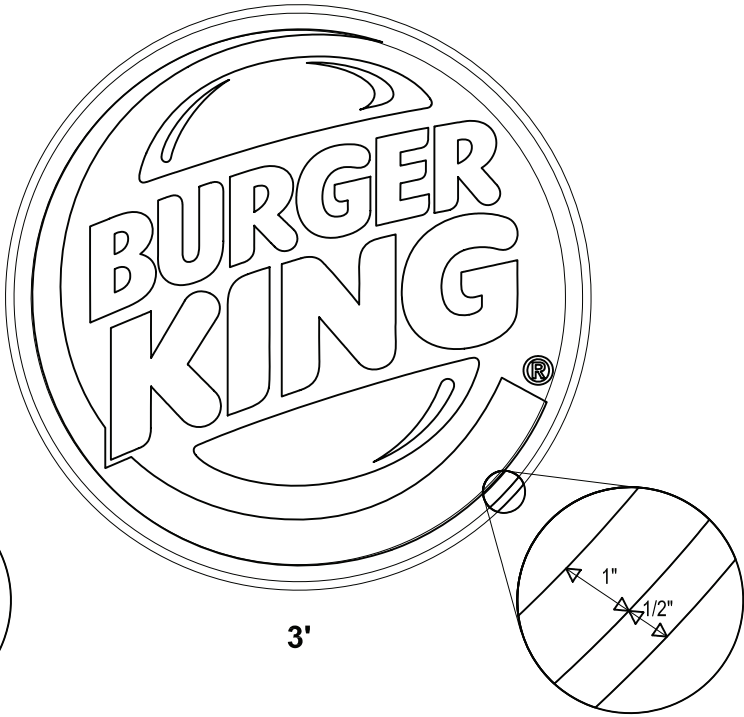
Date



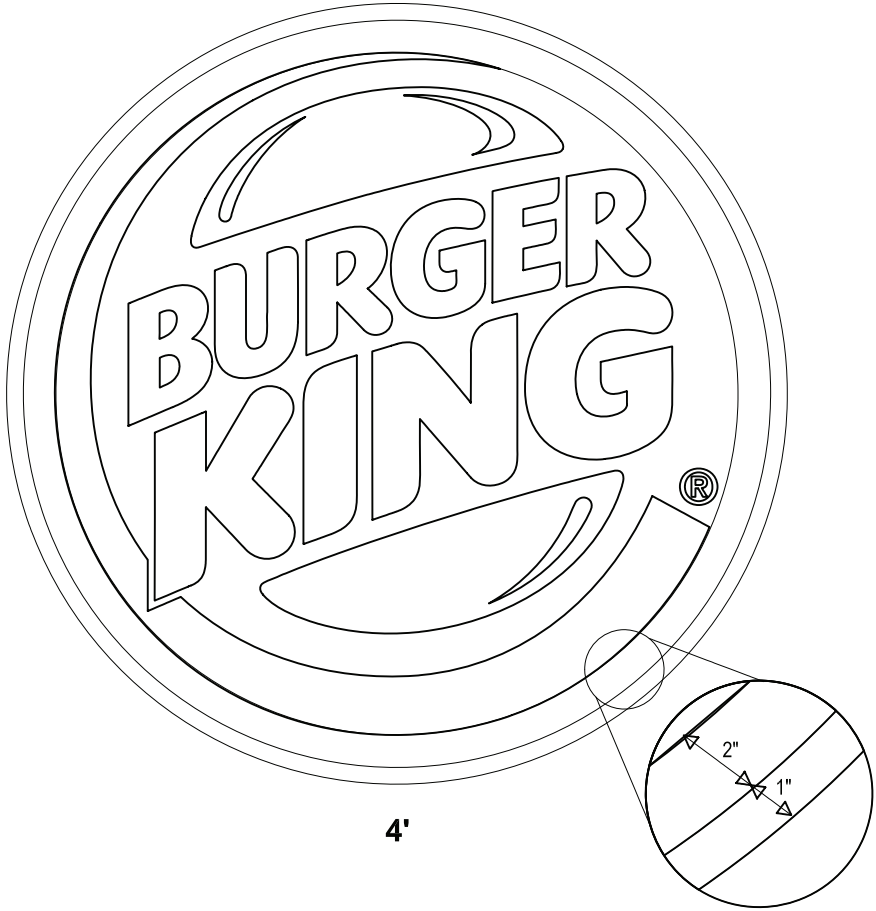
2'



2'-6"



3'



4'

S/F Illuminated Logo Sign
FRONT ELEVATION - SCALE: 1" = 1'

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Project Information

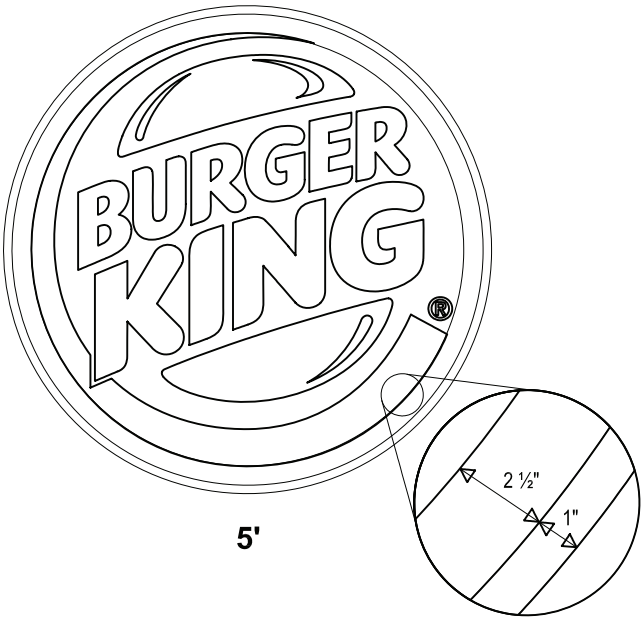
BURGER KING
Custom Exterior Signage Systems
File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

Client Review Status

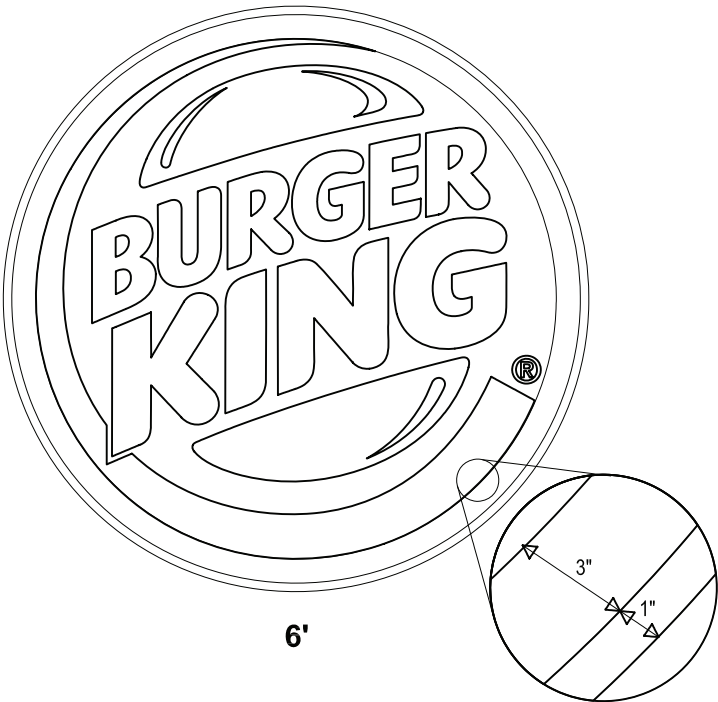
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☐ Approved
☐ Revise & Resubmit

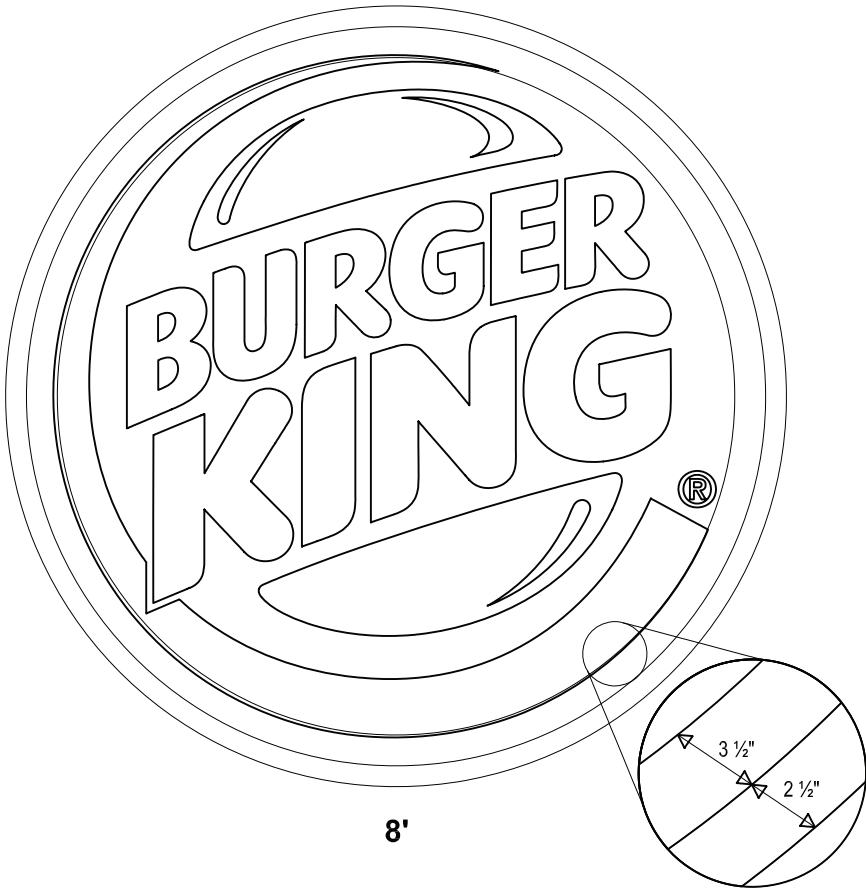
Name	Exhibit received July 19, 2017
Title	Date



5'



6'



8'

S/F Illuminated Logo Sign
FRONT ELEVATION - SCALE: 1/2" = 1'

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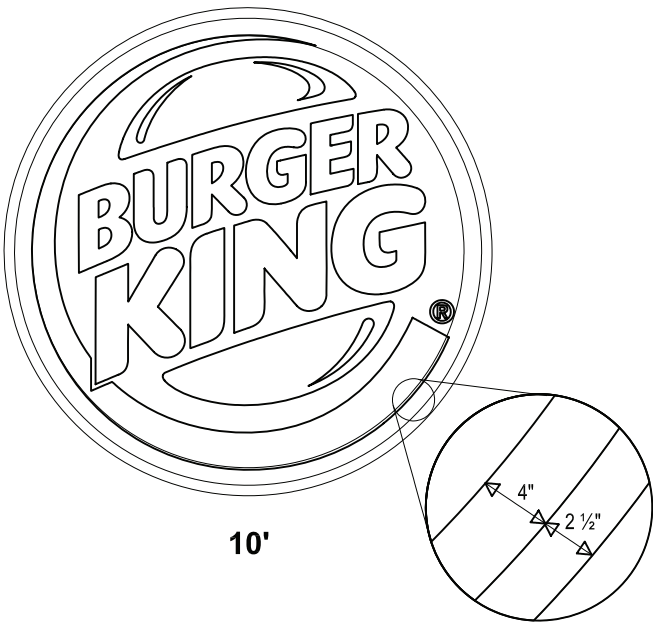
BURGER KING
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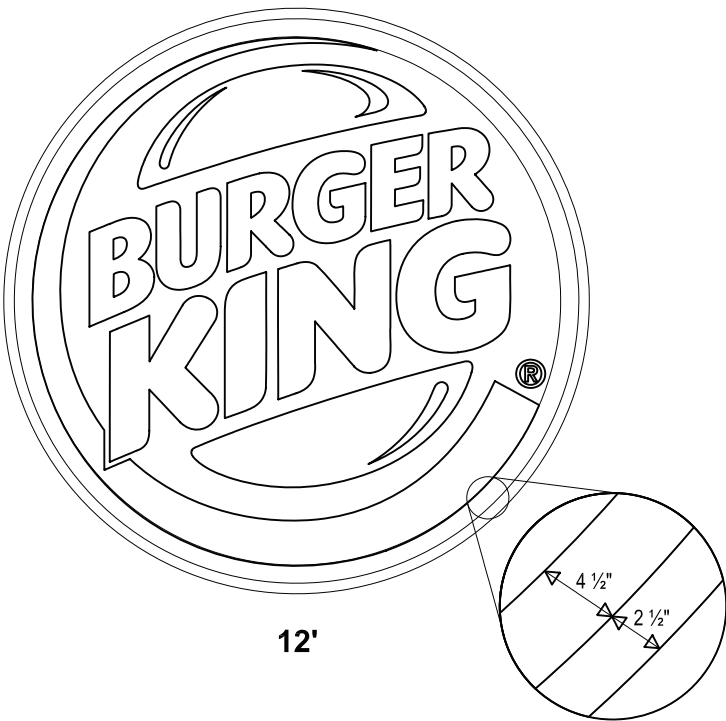
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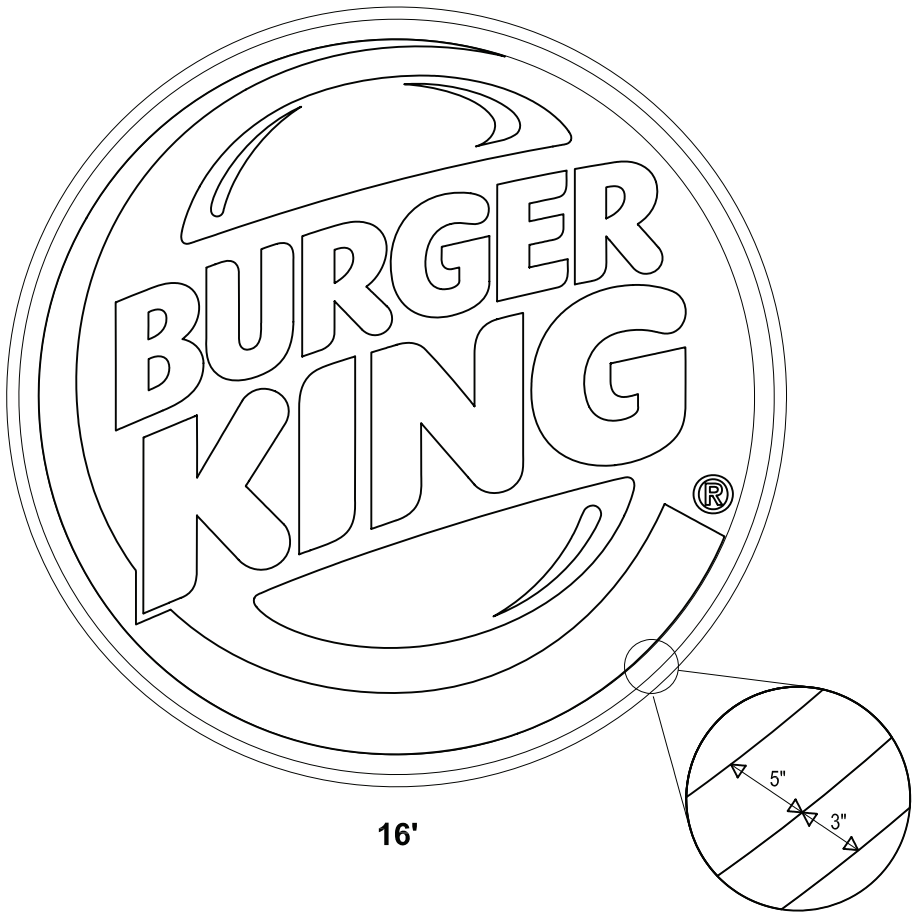
Name **Exhibit received July 19, 2017**
Title _____ Date _____



10'



12'



16'

S/F Illuminated Logo Sign

FRONT ELEVATION - SCALE: 1/4" = 1'

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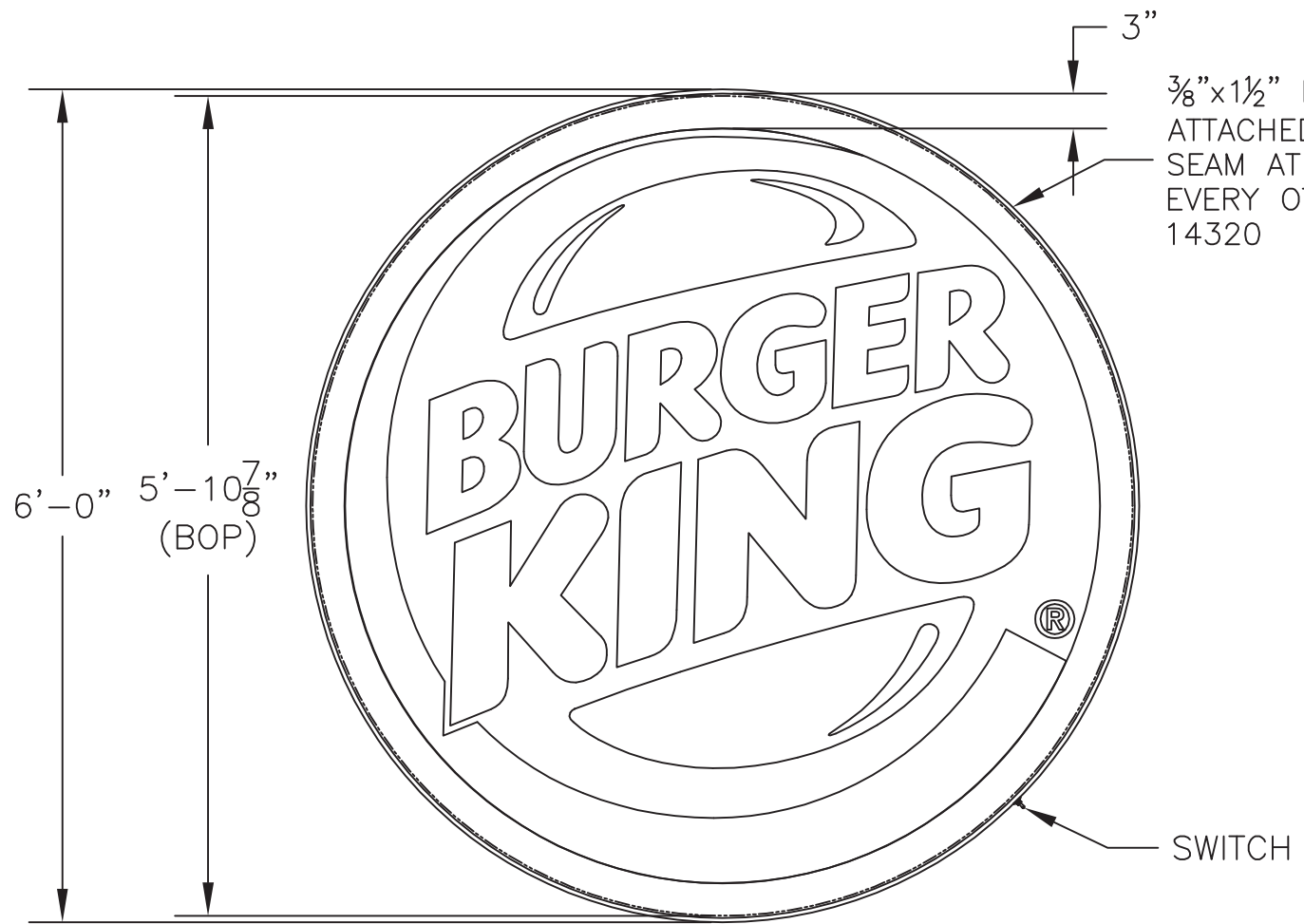
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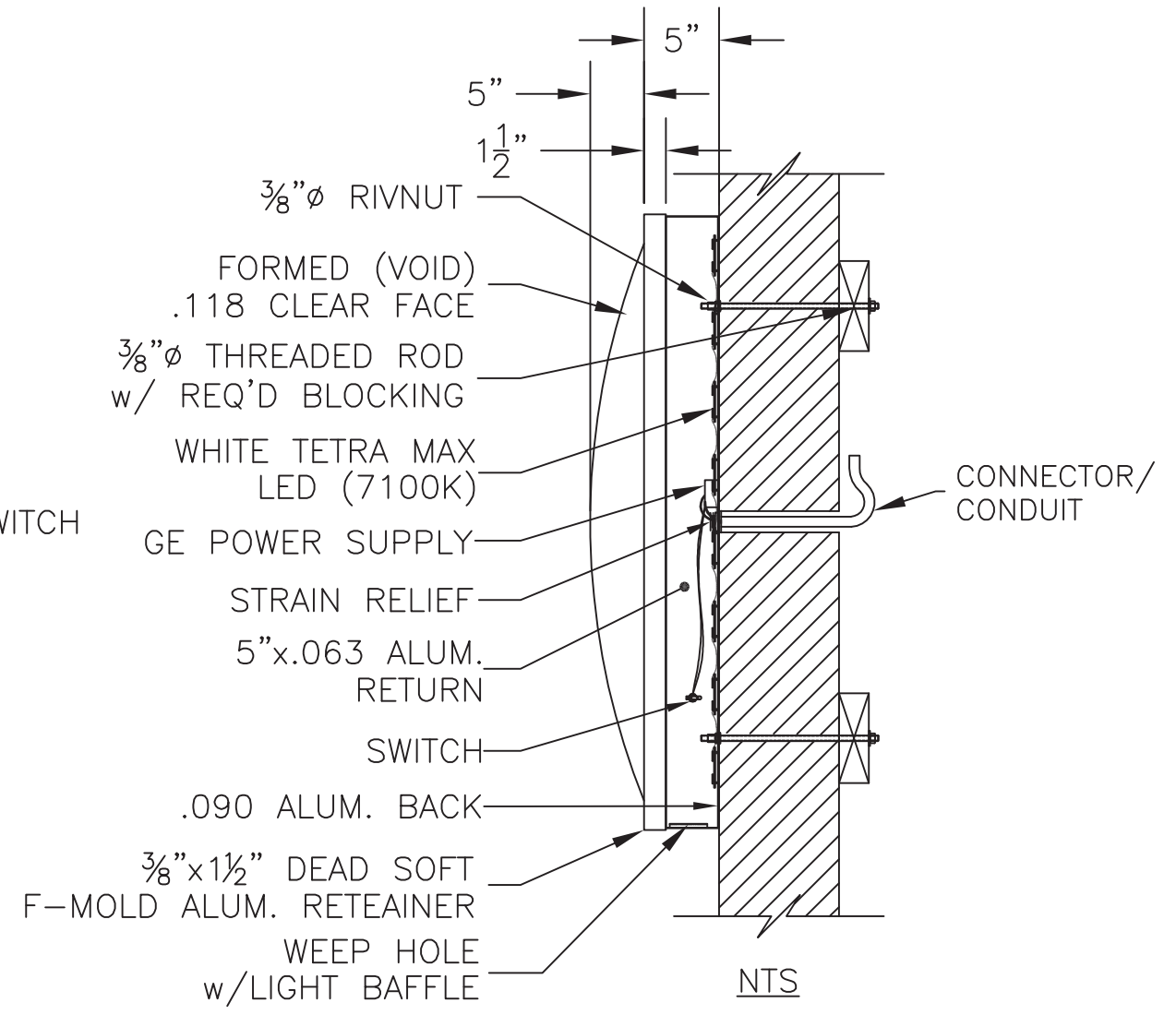
Name	Exhibit received July 19, 2017
Title	Date



LOGO
28.3 SQUARE FEET



3/8"x1 1/2" DEAD SOFT F-MOLD ALUM. RETAINER
ATTACHED WITH (2) 1/8" POP-RIVETS LOCATED AT THE
SEAM AT THE TOP OF THE CABINET AND GLUED
EVERY OTHER FOOT WITH DEVCON PLASTIC WELDER
14320



COLOR NOTES:
BACKS: .090 ALUM. w/ WHITE FINISH
RETURNS/ RETAINER: 5"x.063 ALUM. (STAPLED & CAULKED)
PRE-FINISHED BK SILVER/ WHITE
FACE: FORMED (VOID) .118 CLEAR PCB
BUN LOGO: 3630-125 YELLOW
ACCENT RING: 3630-8703 BLUE
COPY/ RTM: 3630-33 RED
BKG'D/ BUN ACCENT: 3635-30 WHITE DIFFUSER
ILLUMINATION: GE TETRA MAX (7100K)
VINYL TO BE APPLIED 2nd SURFACE

ELECTRICAL NOTE-Actual # of circuits to be
determined by a Licensed Electrical Contractor.
TOTAL AMPS: 1.70
OF CKTS: 1 20 AMP(RECOMMENDED)
VOLTS: 120
ALL SIGNAGE WILL BE (U.L.) LISTED, (U.L.) 2161
COMPLIANT AND CARRY (U.L.) LABELS.



*NOTE:
INSTALL TOGGLE SWITCH TO OPERATE
(ON/OFF) IN THE HORIZONTAL POSITION.

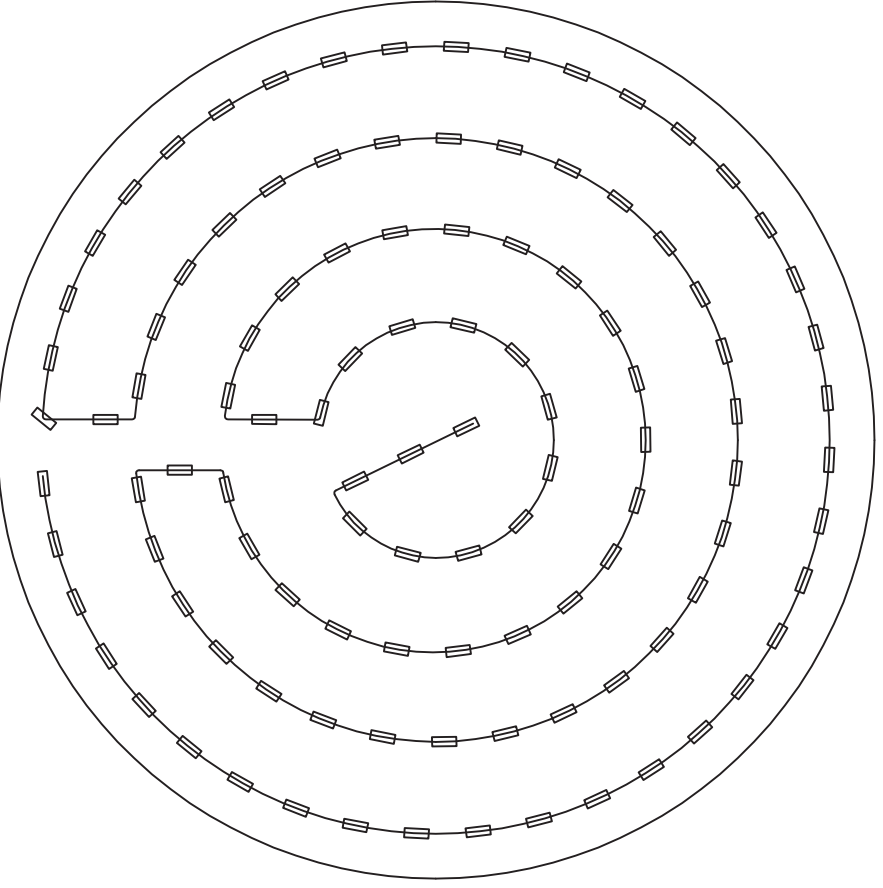
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	BURGER KING		Burger King requires that an " ☒ Approved" drawing be obtained from the client prior to any production release or production release revision.		Name	
	Custom Exterior Signage Systems		☐ Approved		Exhibit received July 19, 2017	
	File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011		☐ Revise & Resubmit		Title Date	



S-1.1L60
6' LED Illuminated
Single Face Wall Sign
Revised 06/04/2012
page 15 of 95

Tetra [®] LED Systems		MATERIAL ESTIMATE					Drwg #: 019455- 06									
CUSTOMER INFORMATION		*** SPECIAL INSTRUCTIONS					TETRA [®] Product***		White MAX (71K)							
REF.	Burger King Sign Document 2011	ESTIMATE FOR ONE SIDE OF SIGN ONLY														
1) THE GRAPHICS BELOW ARE FOR REFERENCE ONLY and should not be used for commercial quotation or bid without validation. The material estimates for Tetra[®] LED Systems are based upon our engineering standards and information provided pertaining to font, letter height, can depth, face material, and any special instructions provided by the customer. Missing information will cause delays in delivery of estimate as well as affect product selection, quantities, application, and illumination. 2) LED MODULE PLACEMENT AND QUANTITY IS AN APPROXIMATION ONLY. The sign manufacturer <u>must</u> verify module placement and quantity to ensure even illumination. 3) Final material quantities for estimation purposes and construction are the responsibility of the sign OEM. 4) All signs should be tested as complete units (including correct Tetra[®] power supply) <u>before</u> installation for acceptable color, illumination, intensity,& functionality. 5) For detailed information and instructions refer to the applicable Tetra[®] product found under Signage at: WWW.LED.COM							MATERIAL LIST									
							LED Module	GE2/GEWHMXTS6-71K	108 Mod.	54 ft.						
							Power Supply	GEPS12-60	2 Ea.							
								GEPS12-20	0 Ea.							
							Connector	191600041	12 Ea.							
Supply Wire	9409	7 ft.														
End Cap	GETMEC1	6 Ea.														
Can Depth	Power Supply Location	Illumination	Total Amps (Primary)	Total Watts (System)	Total Area	Energy Usage	MATERIAL BREAKDOWN									
8"	SELF-CONTAINED	FACE / BACKLIT	1.7 Amps	92.88 Watts	28.26 Sq.Ft.	3.29 Watts/Sq.Ft.	WHITE(71K)	Modules	P/S							
							6'-0" LOGO	108.0	2							
							Tetra [®] LED Systems		Lighting Solutions		TECH SUPPORT: 888-694-3533 / 216-266-2419		Drawn By: MM	Drwg #: 019455 - 06		Rev
							EAST CLEVELAND, OH 44112				EMAIL: TETRADRAWINGS@GE.COM		Checked By: MM			C
											E-FAX: 216 - 359 - 0075		Date: 11/16/11	FORM REV 01-31-11		PAGE 1 OF 1

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Project Information

BURGER KING
Custom Exterior Signage Systems

File Burger King Design Doc RFP #1 Design -- Date: 12/8/2011

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☐ Approved

☐ Revise & Resubmit

Name

Exhibit received July 19, 2017

Title Date



425 W Dundee Rd

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Exhibit received July 19, 2017

71 ft



1993

42°08'20.20" N 87°55'38.68" W elev 649 ft



Exhibit received July 19, 2017



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Exhibit received July 19, 2017

Google

42°08'20.86" N 87°55'39.46" W elev 649 ft



Exhibit received July 19, 2017



Exhibit received July 19, 2017



Exhibit received July 19, 2017



Exhibit received July 19, 2017



Exhibit received July 19, 2017

1. CALL TO ORDER

Chairman Ruffatto called the meeting to order at 6:30 p.m. on Thursday, July 27, 2017.

2. PLEDGE OF ALLEGIANCE

3. ROLL CALL

Present were Commissioners Blinova, Creech, Dorband, Johnson, Kalis, Powers and Ruffatto. Also present were Brooke Jones, Senior Planner, Mallory Milluzzi, Village Attorney, Ron Antor, Fire Inspector and Jon Tack, Village Engineer.

4. CHANGES TO THE AGENDA - None

5. CITIZEN CONCERNS AND COMMENTS - None

6. CONSENT ITEMS - None

7. ITEMS FOR REVIEW

- A)** Docket No. PC 17-11
 Promise and Fulfillment Church
 5110-6360 Capitol Drive
 Minor Site Plan & Appearance Approval of Landscape Modifications

Ms. Jae Kim and Mr. Gary Jung, Architect were present.

Mr. Jung explained there were proposing to add some plants to match the existing daylilies (Banana Lilies). They are planting over 60 of new perennials at the entrance. They designated a bike area near the west entrance. The area has an existing lilac plant.

Commissioner Johnson had no issues. He felt it was a good addition.

In response to Commissioner Johnson's question, Ms. Kim stated they hoped to have service by Thanksgiving.

Commissioners Blinova, Powers, Dorband, Creech, Kalis had no comments.

Chairman Ruffatto felt the landscape changes looked nice.

Commissioner Dorband moved, seconded by Commissioner Johnson to Approve Docket No. PC 17-11 granting minor site plan and appearance approval of the landscape plan submitted July 19, 2017 for the existing religious assembly use in the I-1 Light Industrial and Office District at 5110-6360 Capitol Drive, Wheeling, Illinois.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Dorband, Johnson, Kalis, Powers, Ruffatto
NAYS: None
ABSENT: None
PRESENT: None
ABSTAIN: None

There being seven affirmative votes, the motion was approved.

- B) Docket Nos. 2017-6AB & PC 17-12 & SCBA 17-29**
Wolf Crossing
411-415 N. Wolf Road
(2017-6A) Special Use-Site Plan Approval of a Preliminary Planned Unit
Development for Multi-Family Residences
(2017-6B) Special Use-Site Plan Approval of a Final Planned Unit
Development for Multi-Family Residences
(PC 17-12) Approval of a Preliminary Plat of Subdivision
(SCBA 17-29) Appearance Approval of a Subdivision Sign

See Findings of Fact and Recommendation for Docket No. 2017-6AB.

Commissioner Johnson moved, seconded by Commissioner Creech to recommend approval of Docket No. 2017-6A, PRELIMINARY Review of Special Use-Site Plan-Building Appearance for Wolf Crossing, consisting of a 39-unit townhome development, as required under Chapter 19-05, Mixed-Use and Overlay Districts, Chapter 19-09 Planned Unit Developments, Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, as shown on the following plans/exhibits submitted on June 16, 2017 (except as noted), for the Wolf Crossing Planned Unit Development to be located on the property currently known as 411-415 N. Wolf Road, Wheeling, Illinois:

- Cover Letter (2 sheets)
- Project Narrative (9 sheets)
- Zoning Statistical Sheet
- Vicinity Exhibit
- Site Plan, July 13, 2017
- Rendering, Front
- Rendering, Rear

- Elevation Plans (14 sheets), June 22, 2017
- Floor Plans, Auburn (4 sheets)
- Detailed Lower Level Floor Plan, Auburn, July 13, 2017
- Photographs of Auburn Garage (2 sheets), July 19, 2017
- Floor Plans, Royal (4 sheets)
- Detailed Lower Level Floor Plan, Royal, July 13, 2017
- Civil Engineering Plans (16 sheets)
- Fire Hydrant Coverage Exhibit
- Fire Truck Turning Radius Exhibit
- Snow Removal Exhibit
- Photometrics Plan
- Light Fixture Exhibit
- Exterior and Interior Specifications Exhibit (4 sheets)
- Exterior Color Exhibit
- Landscape Plans (8 sheets)

Including the following relief from the Wheeling Municipal Code:

1. Reduce the minimum required building setback (front) for the townhomes from 30 feet to 9'11.5" (Section 19.04.060 F);
2. Reduce the minimum required building setback (north interior side) for the townhomes from 30 feet to 15'2" (Section 19.04.060 F);
3. Reduce the minimum required building setback (rear) for the townhomes from 30 feet to 16'7" (Section 19.04.060 F);
4. Reduce the minimum required distance between two 3-story buildings from 40 feet to 13'2" feet (Section 19.04.060 F); and
5. Increase the maximum townhome density from 14 units per net acre to 16.7 (Section 19.04.060 H).

And with the following conditions of approval:

1. Prior to the issuance of a site permit, a plat of vacation for Mayer Avenue shall be executed.
2. The brick shall not be veneer as labeled in the plans and shall be standard nomenclature brick.
3. Include downspouts on elevation plans.
4. Units shall have outside water spigots, one in rear and one in the garage.
5. Units shall have bigger patios.
6. Units shall have decks off the second floor.
7. Irrigation is required for entire property.
8. The mailboxes shall have canopies.
9. Provide alternate light fixtures.
10. Include building lighting in photometric plan.
11. Bury downspouts in front yard.
12. Provide additional landscape screening between units.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Commissioner Powers moved, seconded by Commissioner Johnson to close Docket No. 2017-6. The motion was approved by a voice vote.

Commissioner Johnson moved, seconded by Commissioner Creech to recommend approval of Docket No. PC 17-12; Preliminary Plat of Subdivision for the Wolf Crossing Subdivision under Title 17, Planning Subdivisions and Developments as shown on the Final Plat received June 16, 2017, prepared by Bradley A. Strohl, Illinois Professional Land Surveyor No. 184003350, on behalf of DRH Cambridge Homes, for 411-415 N. Wolf Road, located in Wheeling, Illinois.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Commissioner Johnson moved, seconded by Commissioner Creech to approve Docket No. SCBA 17-29 to permit the installation of the subdivision sign in accordance with the following plans submitted June 16, 2017 for the Wolf Crossing development at 415 N. Wolf Road, Wheeling, Illinois:

- Sheet L1 of L7 (plant list),
- Sheet L4 of L7 (site plan), and
- Sheet L6 of L7 (elevation and section plans).

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Mr. Shapiro requested to get on the agenda as soon as possible for final Plat and PUD approval. It was determined that August 24th was the earliest date.

8. APPROVAL OF MINUTES – [July 13, 2017 \(including Findings for Docket No. 2017-8\)](#)

Commissioner Powers moved, seconded by Commissioner Johnson to approve the minutes dated July 13, 2017 as proposed. The motion was approved by a voice vote.

9. OTHER BUSINESS

Commissioner Dorband thanked Mr. Joe Romeo at Spears for hosting the Wounded Warrior 5-lb burger challenge. She gave kudos to Officer Rick Richardson and Fire Fighter Brad Cliff for eating a 5-lb burger.

Commissioner Dorband congratulated the Commission on how nice the Village was looking.

10. ADJOURNMENT

Commissioner Powers moved, seconded by Commissioner Johnson to adjourn the meeting at 10:40 p.m. All were in favor on a unanimous voice vote and the meeting was adjourned.

Respectfully submitted,

Steve Powers, Secretary
Wheeling Plan Commission

**DISTRIBUTED TO THE COMMISSION 8.4.2017
FOR APPROVAL ON 8.10.2017**

**FINDINGS OF FACT
AND RECOMMENDATION**

To: Village President and Board of Trustees

From: Wheeling Plan Commission/Sign Code Board of Appeal

Re: Docket Nos. 2017-6AB & PC 17-12 & SCBA 17-29
Wolf Crossing
411-415 N. Wolf Road
(2017-6A) Special Use-Site Plan Approval of a Preliminary Planned Unit
Development for Multi-Family Residences
(2017-6B) Special Use-Site Plan Approval of a Final Planned Unit
Development for Multi-Family Residences
(PC 17-12) Approval of a Preliminary Plat of Subdivision
(SCBA 17-29) Appearance Approval of a Subdivision Sign

2017-6 DRH Cambridge Homes, Inc., contract purchaser, is seeking Special Use-Site Plan Approval of a Preliminary Planned Unit Development for a multi-family residential development at 411-415 N. Wolf Road in the MXI Mixed Use Industrial District, as required under Chapter 19-05 Mixed Use and Overlay Districts, Chapter 19-09 Planned Unit Developments; Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, and associated sections.

Present were Commissioners Blinova, Creech, Dorband, Johnson, Kalis, Powers and Ruffatto. Also present were Brooke Jones, Senior Planner, Mallory Milluzzi, Village Attorney, Ron Antor, Fire Inspector and Jon Tack, Village Engineer.

Commissioner Powers read the following statement aloud.

A zoning Special Use, as defined in Title 19, of the village of Wheeling (Zoning), is a use of parcel of land that requires review and consideration before approval due to circumstances or effects on the surrounding properties that may adversely affect them. In order to be considered for a special use the petitioner is required to demonstrate through testimony to the Plan Commission at the public hearing why their request meets the conditions of the village code including, but not limited to, how the proposed use will not damage the enjoyment or use of the surrounding properties. Prior to the public hearing the petitioner provides written statements meant to show that their request for a special use meets the standards established in Title 19. The Commission Chairperson will typically direct that these statements be entered into the record without a full reading of them at the hearing. Based upon the testimony and supporting materials submitted, the Plan Commission will make findings in support of, or against, the petitioner's testimony and report those findings to the Village Board.

Ms. Jones stated that the Staff Report and submittals of the petitioner were part of the public record. She noted a typo in the Staff Report on page 11 regarding the relief from the Municipal Code. Number 4 should state 13'2" instead of 26'8" which was listed in the report.

Mr. Derick Hoffman, DRH Cambridge Homes, 750 E. Bunker Court, Suite 50, Vernon Hills, IL , Mr. Mark Fields, DRH, Land Acquisition, Mr. Bruce Mellen, DRH, Land Development, Mr. Dan Shapiro, Land Use Council, Mr. Quinten Hoogenboom, Manhard Consulting, 700 Springer Drive, Lombard, IL, Mr. Brad Dethloff, Landscape Designer, Rolf C. Campbell & Associates, 910 Woodlands Parkway, Vernon Hills, IL, Mr. William Grieve, Sr. Transportation Engineer, Gewalt Hamilton and Mr. James D'Alexander, Manhard Consulting, 700 Springer Drive, Lombard, IL were present and sworn in.

Mr. Hoffman mentioned they were in front of the Village Board in February for concept review and in front of the Plan Commission in May. They have been meeting with Village Staff throughout the process. They are seeking preliminary and final PUD approval, final plat approval and signage approval. He explained they were seeking preliminary and final together because they believe the project is ready and they had provided the level of detail required for final PUD review in their application. They have contractual obligations with the seller, Mr. Larry Petrie of Deerfield Moving and Storage. He mentioned that Mr. Petrie had been cooperative and patient during the process and want to close on a time that works with his schedule. They would like to demolish the building and begin site work in the fall and permission to begin prairie building units this winter, finish site improvements in the spring and be in a position to be open for sales for at least part of next spring.

Mr. Hoffman provided a summary. DR Horton is the largest home builder by volume in the United States. They were currently active in 78 markets and 26 states around the United States. The company last year closed over 40,000 homes around the United States and will close more homes this year. Their DR Horton brand and Emerald brand serves the move up buyer, their Express homes provide an excellent entry level home opportunity and the Freedom brand serves the aged targeted and aged restrictive buyer. Wolf Crossing would be branded as a DR Horton Community. They have been involved in the Chicago market for over 50 years. They are currently active in 24 municipalities around the Chicagoland area. In 2016, they sold over 600 homes around Chicago and will sell more homes this year.

Mr. Hoffman referred to the site location. The property is located south of the Milwaukee Avenue and Wolf Road intersection, the Prairie Park condominiums is to the north, single family homes to the south and west and Milwaukee Avenue and Restaurant Row to the east. The property is approximately 3.13 acres including the Mayer right-of-way. The property is currently a 40,000 square foot office and warehouse storage facility with the rest of the property covered by impervious surface parking lot. Millbrook Pointe is located to the north of the property and was approved in 2007/2008 for a 60-unit townhome community. The new fish market is to the immediate east of the site.

Mr. Hoffman provided photos of the property. The proposed site plan includes 39 units. The units are 22' to 24' in width and the plan includes 16 guest parking stalls and entry monument on the south portion of the southern entry point. 36% of the site will be open space once it is developed. The current site is approximately 100% of impervious surface.

The petitioner reviewed and considered the design guidelines in the building code. Mr. Hoffman provided a street view rendering of the original proposal from May. In May, the Plan Commission had requested that they look at the entries since they felt they were not prominent enough and to

provide a color rendering of the rear elevations. An updated rendering was provided. Based on the brick use in the plan, they meet the Village's Code for materials and design guideline standards. The entries have been updated. Material samples were provided at the meeting. Each building has a different character to prevent monotony but also has a cohesive design for the units.

Building materials presented at meeting:

Stone – accent material used on the front and side elevations

Mfr: Sunset Stone

Colors: Georgetown Ledge and Alpine Ledge

Shingles – architectural grade

Mfr: IKO, Cambridge Collection

Colors: Weather Wood pattern

Brick (full size)

Mfr: General Shale

Colors: Oldham Tudor, Essex Tudor, LWM Shadow Grey Tudor, Keeneland Tudor, Sandstone Tudor, Scottish Manor Tudor

Hardy Board – accent material

Mfr: Hardy Plank

Colors: Deep Ocean, Timber Bark, Rich Espresso, Aged Pewter, Arctic White

Gutters/Downspouts

Mfr: Rainwear Selection – ABC Supply Company

Colors: Linen and White

Shutters

Mfr: TBD

Color: Black

The proposed units are 2,270 square feet and 2,470 square feet. They are all three bedroom/2.5 bath units. Mr. Hoffman mentioned they were significantly larger than the average townhome in the Chicago Metropolitan area. The typical townhome in Chicago ranges between 1,500 and 1,700 square feet. Brick has been incorporated on the rear elevation with a 10' x 10' patio behind each unit. The units facing Wolf Road include a bump out bay window with extensive landscaping along Wolf Road to provide an additional visual appeal for those units.

Mr. Hoffman addressed the density. He provided an aerial view of the site including Millbrook Pointe to the north. He asked that the Commission consider a few factors in determining if the proposed density was appropriate for the site in this location.

- The Village's Comprehensive Plan. The Comprehensive Plan is clear that the Village would like to see redevelopment of industrial and office uses along Wolf Road. New restaurants and new multi-family residential should be encouraged. He felt the proposed gives some delivery on that vision.
- Restaurant Row to the east. The natural trend in terms of density in urban studies is to

encourage more and more density to be pushed closer to commercial. It puts more people within walking distance to the establishment and can only help those businesses.

- The site is less than a mile to the new town center development. The target buyer is someone who would consider walking to the town center.

Mr. Hoffman asked the Commission to consider the proposed development plan that includes the following changes to the plan and is reasonable in the context of other approved developments within the Village.

- The road layout was changed per Staff's comments.
- The building separation has been increased per the Fire Department's request.
- They prepared an analysis on the proposed hydrant plan to make sure there was adequate coverage.
- The guest parking meets the standards of .4 spaces per unit.
- They need 39 units to make it work economically. They are not asking for any TIF District money.

Mr. Hoffman referred to the garages. He confirmed two cars could fit into the proposed garages. There is an additional bonus room off of the garage. He stated that DR Horton sold over 650 townhome units with a 365 square foot garage. The average garage size at Wolf Crossing is 357 square feet. He mentioned one of their best selling products had a 355 square foot garage. They have not received any negative feedback from their other developments about the garage size. Their target market for the units is young urban professionals. They buy smaller vehicles that need smaller garages. The national trend is for smaller more fuel efficient vehicles. He provided a drawing of a garage with a Chevy Malibu and Toyota Camry parked inside it. The garage would also fit a trash and recycling can. The typical separation between car doors is 2-2.5'. They tested it with an 18" separation and they were still able to get in and out of the car. The bonus room immediate adjacent to the garage averages 280 square feet. There is ample living space on the second and third floors. The 2,270 square feet and the 2,470 square feet does not include the garage space.

Mr. Hoffman addressed the fire protection analysis. Coverage maps were provided. There are an additional two existing fire hydrants on Wolf Road. Sprinklers are included in the design of all the units. Fire lanes will be posted. Mr. Hoffman confirmed the hydrants had a 4' radius without any obstruction. He referred to the fire hydrant in front of unit 19 with the close proximity of the concrete mail box pad. Based on the radius of the pad it is outside the 4' radius of the fire hydrant. He noted the mail box unit was centered on the 6' x 6' concrete pad. There will be no protrusions hanging over the side of the concrete pads.

Mr. Hoffman referred to the snow storage. He provided a snow storage plan. The plan designates snow storage in areas of the community. It includes a maximum pile height of 3'. The draft declaration submitted includes a covenant that requires snow removal from the common area, including without limitation private roads, driveways and walkways. It includes hauling off snow that cannot be stored within the designated snow storage areas referenced on exhibit D. Part of the HOA fees will ensure there is money available to haul off snow if needed. They will post signs prohibiting parking in those areas during a snow fall.

Mr. Hoffman referred to the proposed landscaping. The mechanicals for the units are located on the

rear of the units. The mechanical plantings at installation will average about 24" in height and at maturity will be 3-5' in height. They will include landscaping around the mechanicals to screen them.

Mr. Hoffman confirmed they were not proposing landscape irrigation on the site. He explained it was difficult to lay the lines and do the necessary improvements within their current utility plan. He also mentioned the maintenance burden on the HOA associated with irrigation systems. He felt the HOA was already taken on a big obligation for 39 units. He felt the proposed landscape materials were hardy and would do well in this location. The plant materials were specifically chosen for its ability to handle harsh weather conditions. There is a 1-year warranty on all planting materials. It will be up to the HOA and landscape contractor to monitor rain conditions to ensure the planting material get appropriate water. If additional watering is needed, it will be up to the HOA, the Board of the HOA and the unit owners to determine when to bring in a watering truck on site.

Chairman Ruffatto asked for clarification on the location of the specific building materials and additional details on the landscaping.

Commissioner Powers asked for details regarding the proposed setbacks. A color rendering was provided.

Mr. Hoffman referenced the following building detail options.

- Brick soldier course over the garage and some windows;
- Brick siding extends to the color break;
- The top lighter material is hardy siding;
- Downspouts and trim are white aluminum;
- All shutters are black where they exist;
- Vertical plank hardy board on the third floor;

Mr. Hoogenboom addressed the proposed setbacks. The front setback of 9'11.5" will be adjacent to unit #26, the 15'2" setback is behind unit #13 and the 16'7" setback is at units #13 and #39.

Mr. Detholff referred to the provided landscape plan. A buffer was added along Wolf Road with year round interest including evergreens. The plantings along the buildings will be taller to help with privacy around the buildings. The mechanicals in the back including the air conditioning units will be screened. The plantings include a mixture of evergreens and deciduous plantings. He mentioned the proposed plantings include limber pines, junipers, hydrangeas, burning bushes, mixture of grasses, maple trees.

Mr. Bruce Mellen referred to the list of proposed species included on the landscape plan.

Chairman Ruffatto opened the discussion to the public.

From the audience, Mr. Terry Steilen, 473 Briarwood, Wheeling was present and sworn in. Mr. Steilen noticed the plans in the packet had a lot of brick veneer included in the plans but none mentioned at tonight's meeting. He questioned if the plans had changed since last Friday's copy.

Mr. Steilen mentioned the traffic report provided was one of the best traffic reports he has seen as a

former Plan Commissioner.

From the audience, Ms. Michelle Jensen, 375 3rd Street, Wheeling was present and sworn in. She questioned the landscaping on the south side between their houses on the north end of 3rd Street. She questioned if there would be a berm, trees or fencing.

From the audience, Mr. Bob Spirit, 35 Legacy Lane, Wheeling was present and sworn in. Mr. Spirit mentioned their fence and questioned if there would be additional fencing. He referred to the 10' easement between their fence and the proposed property and questioned if they would lose any of the mature trees. He questioned if there would be a retention pond. If so, he would be in favor of it. He questioned if there was any further discussion about Mayer Street and a path to Milwaukee Avenue. He questioned what would be done so they would be minimally disrupted in the process. He welcomed the new subdivision.

From the audience, Ms. Jackie Kass, 73 Legacy Lane, Wheeling was present and sworn in. She questioned if there was any discussion about adding a traffic light. She felt there would be more traffic with the proposed development and thought it would be a good idea for safety issues.

Chairman Ruffatto asked about the brick veneer mentioned in the plans. Mr. Hoffman confirmed the proposed brick was standard conventional brick installed on the outside of the units.

Chairman Ruffatto agreed with Mr. Steilen's comment about the traffic study.

Mr. Grieve reported they included the existing business in their traffic study and did not subtract it to allow for future growth. They contacted Chicago Metropolitan Agency for Planning and got their year 2040 projections for Wolf Road. IDOT's 5-year plan includes the widening of Wolf Road to have a center two-way left turn lane. There will be sidewalks on both sides of the street. The center lane will enhance safety throughout for all of the different intersections. They considered what would happen if the development went in prior to the IDOT improvement and determined they were not close to warranting any type of left turn lane on Wolf Road.

Mr. Grieve referred to the comment about adding a traffic light and explained there wasn't the threshold of cars needed to warrant a traffic light.

Mr. Grieve stated that the traffic generated by this development could easily be accommodated on the streets.

Chairman Ruffatto referred to the comments about 3rd Street, vacating Mayer Avenue, a retention pond and what is proposed along the Millbrook property line.

Mr. Hoffman referred to a storm water pond. He explained they were integrating a subsurface detention vault similar to Millbrook Pointe. They have tried to work with the property owner to the east to improve the pond and have made numerous generous offers to use the pond for storm water detention but unfortunately they were unable to make it happen. The fallback was to use a detention system under the road.

Mr. Hoffman explained that part of their proposal was to vacate the 33' wide right-of-way on Mayer Avenue. When they initially spoke with Village Staff and the Village Board there seemed to be a desire for them to install a walking path to create additional pedestrian connectivity between Wolf Road and the existing Mayer to help foot traffic move over to Milwaukee Avenue. In subsequent conversations, there was some opinion from Staff that they not do a walkway to the south. They have decided to leave it open and allow the Village to install a walkway in the right-of-way in the future.

Mr. Hoffman referred to the landscaping along the south property line. He confirmed there is a 2' berm and rise to create some separation between their units and Millbrook Pointe. In addition to the landscaping on the south, they will be removing three trees in the Mayer right-of-way but are planning on planting 10 new trees (oak and maple) to create an additional buffer on the south. There is a grade change on the north between Millbrook Pointe and their property. There is a fence 5' in from the property line behind the units at Millbrook Pointe. Their plan is not to disturb the fence but work with the HOA at Millbrook Pointe to figure out how to clean up the area. They will remove anything that is dead. There are a number of trees along that property line that they are planning on leaving.

Mr. Mellen addressed the comment about their construction activity. Mr. Mellen stated they would be installing a silt fence and tree protection fence around the perimeter of the site and around any trees to be saved. The demolition will be handled in a safe and secure manner. The demolition contractor will be required to use water to keep dust down during demolition. Once the demolition is complete, they will do dust control watering if needed. They will comply with all requirements.

The Plan Commission took a break at 7:45 p.m. and reconvened at 7:50 p.m.

Commissioner Dorband expressed a concern about the density. She felt the reduction of one unit was not far enough.

Commissioner Dorband wanted larger patios with landscaping between the units to provide some privacy.

Commissioner Dorband expressed a concern for snow removal. She mentioned she lives in a similar development and understands snow storage. She explained that the hauling off of snow would be very expensive and an association would be extremely burdened by the cost.

Commissioner Dorband referred to the comment about bringing in a watering truck and explained it would be very expensive for the association. She felt they needed an irrigation system and was much cheaper to install it during the building process. She has an irrigation system and uses it.

Commissioner Dorband referred to units 114 and 26 and felt they were located way too close to Wolf Road especially with the widening of the road.

Commissioner Dorband did not agree with the projected car trends.

Commissioner Dorband suggested adding a canopy to the mail box areas.

Commissioner Dorband was not in favor of the proposed lighting fixtures on the buildings because of the difficulty to change the light bulbs.

Commissioner Dorband referred to the garage size. She has a 2-car garage and as a single person she uses it. She did some research on-line and read that the recommended minimum size of a 2-car garage was approximately 20' wide x 20' deep. It suggested going bigger when possible. 22' x 22' was comfortable and 24' x 24' gave breathing space.

Commissioner Dorband requested details about the downspouts. Mr. Hoffman confirmed there were downspouts on the fronts and rears of the units. She requested that they use the larger downspouts because of the amount of rain. They had to replace a lot of their downspouts in her subdivision because of that reason.

Commissioner Johnson asked for a rendering that includes the downspouts. Mr. Hoffman noted the location on the rendering since they were not included. A volume study was done on the project volume. He confirmed the issue would be addressed. The front elevation includes two downspouts on each unit. The rear elevations also include one. Commissioner Johnson questioned if the Village Code requires the downspouts to go in the ground. He wants to see the downspouts and gutters added to the rendering. Chairman Ruffatto agreed they should be included on the elevation plans.

In reply to Commissioner Johnson's question, Mr. Hoffman explained the definition of prairie build was to get foundations and vertical construction prior to utilities being completed. It was a way to phase the utility construction so the connections would run out of the building when utilizes were put in and connected. There is no occupancy but is a mechanism that can be used to be able to continue to build through the winter while doing infrastructure improvements.

In reply to Commissioner Johnson's question, Mr. Hoffman confirmed the entry columns were painted wood.

Commissioner Johnson asked if the units would have outside water spigots. Mr. Hoffman agreed to look into it. Commissioner Johnson requested including them for the residents.

In reply to Commissioner Johnson's question, Mr. Antor confirmed the Fire Department was OK with the 13' building variation.

Commissioner Powers thinks the proposal it's too dense. He suggested sliding the buildings over in a different configuration.

Commissioner Powers wants an irrigation plan included in the plan.

Commissioner Powers referred to the north side that abuts up to Millbrook. Mr. Hoffman confirmed there is a fence running along the north side of the property. It is located 5' off the property line to the north. There is a 5' gap between the fence and their property line. The area needs to be cleaned up.

Commissioner Powers questioned the drainage on the site. Mr. Tack explained there is a storm sewer system along the perimeter of the property. He confirmed that everything would be redirected into the vaults.

Commissioner Powers asked for an explanation of a reverse pitch and gutter. Mr. D'Alexander explained the typical curb in a parking lot where the storm structure is set within the actual curb is a normal pitch so the pitch is toward the face of the curb. A reverse pitch curb and gutter is proposed in the parking stalls. The stalls will be slightly higher than the street and pitched toward the street. The stalls will be pitched with the very ends pitched toward the gutter. Mr. D'Alexander confirmed they were providing underground storm water detention and is located mostly in the open space areas on the plan. Storm sewers are provided throughout the neighborhood and are designed for the 100-year storm event.

Commissioner Powers referred to the garages. He questioned if a car could be backed in. He expressed a concern about the size of the garage but was uncertain what could be done.

Commissioner Powers questioned the location of the air conditioner units. Mr. Hoffman noted they were included on the landscape plan with the proposed screening. Commissioner Powers wanted them included on the elevations.

Commissioner Powers questioned the location of the gas, electric, cable and phone for each unit. Mr. Mellen confirmed they were currently working with ComEd and Nicor to determine the locations. They were planning to place the gas meters on the ends of the units. The ComEd meters would be individually metered to each unit in the vicinity of the air conditioner. Commissioner Powers noted that unit 5 had no landscaping to the side. Mr. Mellen believes there is landscaping between units 5 & 6.

Commissioner Powers referred to the east and west elevations. He wants to see a color rendering of the sides. Mr. Hoffman explained the rear elevation included a perspective of the sides.

Commissioner Powers questioned the venting for the washers, dryers and stoves. Mr. Hoffman was unsure and will identify along with the spigots. Mr. Mellen stated there would be one spigot in the garage and one in the rear.

Commissioner Powers believes the snow removal will be a burden to the homeowners.

Commissioner Powers questioned the reason the Wolf Road sign runs north and south versus east and west. He questioned the material for the sign. Mr. Dethloff confirmed the material is a limestone veneer with precast concrete. Mr. Mellen confirmed there is a concrete foundation with limestone veneer over a masonry block. There is a limestone cap. Mr. Dethloff explained the direction of the sign was to help with the landscaping.

Commissioner Blinova questioned the reason they weren't providing any privacy for the patios. Mr. Hoffman explained the patios were offset and included landscaping between the units for the screening between the patios.

Commissioner Blinova questioned if the patios could be made larger. Mr. Hoffman confirmed it was possible to extend the pad along the unit. He stated the proposed 10' x 10' patio was typical of what had been installed in their other developments.

Commissioner Blinova suggested reducing the square footage of the units in order to reduce the density. Mr. Hoffman explained if they shrunk the unit size, they would then be proposing more units and not less units. He stated the 39 units was his breaking point.

Commissioner Creech was OK with the garages. Mr. Hoffman was not familiar with a 20' wide garage for a townhome.

Commissioner Creech questioned the volume rate the detention vault was being built at. Mr. D'Alexander confirmed they were providing for the 100-year storm event. He explained they input all the variables and were following the Metropolitan Water Reclamation District's methodology for sizing the storm water detention facility. They are providing .67 acre feet of actual detention volume on the site as well as .17 acre feet of the volume control that they were physically allowing the water to infiltrate into the ground before being released.

Commissioner Creech questioned if the gutters were going on the ground or into the detention base. He was not in favor of them going into the driveways. Mr. Mellen confirmed they were designed to the Village Code which allows them to release on the ground. Mr. Tack explained the Code did not state it had to discharge on the driveway but the preference was to surface discharge whenever possible to allow for any type of infiltration that could take place. He stated that along front it would be minimal. If there was a safety issue, they could consider hard piping them. Commissioner Creech questioned how he felt the front was minimal. Mr. Tack explained there wasn't much green space on the front compared to the rear yards.

Mr. Fields referred to the building configuration that had an approximate 8' of frontage where the downspouts would then drain into the yard area between the drives. He showed a description on the rendering. The intent is to direct them as close to the edge of the drive and into the green space between the drives so the water was making its way partially into the green area and down to the street. Commissioner Creech questioned if they would put an extension on the end of the downspout. Chairman Ruffatto suggested hard piping the front. Mr. Mellen stated they had talked about hard piping and will continue to look into it. Chairman Ruffatto will take a consensus and if the consensus was in favor of hard piping then they will have to take a hard look at it. Mr. Mellen stated that hard piping would add a substantial amount of piping going out to the roadway.

Commissioner Creech expressed concern about the buffering around the air conditioning units. He wants a privacy barrier.

Commissioner Creech agrees with Commissioner Dorband that the entire area should be sprinkled since they were spending a lot of money on landscaping.

Commissioner Creech referred to the lower level option for a bedroom. He mentioned the slider would be lost and a swing door added if someone opts for the bedroom. He felt it would totally change the look of the rear elevation. Commissioner Creech referred to the slider in the dining room

are and questioned why not windows. Mr. Hoffman explained they would like the option to add a deck on the second floor which would be roughly the same size as the patio below it. They would consider windows at final permitting. Commissioner Creech mentioned that the rear elevations for the buildings could all look different. Mr. Creech explained the 5-unit buildings were building to a spec package. If they determined they wanted to add porches to the back they would add them on all the units. They build the units before they have buyers. They are doing their best to outfit the units in terms of flooring, cabinetry and decks to what the market wants at a price point. They will not customize one individual unit. They are built on spec before a buyer. Sales and marketing determines what the market was looking for based on the people coming in. Commissioner Creech expressed a concern that each building could possibly be different. Ms. Milluzzi explained the petitioner would need to come in for a minor site plan approval for any changes. They would only change it if the market demanded it. Commissioner Creech requested a consensus for conformity. Ms. Milluzzi confirmed the units would not be different and would all be built the same. They are getting approval for what is currently being proposed in the plans.

Commissioner Creech wants a walking path or sidewalk on Mayer Avenue. Mr. Hoffman asked for Staff input. Ms. Jones stated that Staff had not made a determination as to how it would be maintained which is their concern. Mr. Tack explained that Public Works had a safety concern and lighting of the path. It is located in a corridor that is not easily assessable by the Police Department. Secondly, the maintenance and snow removal are issues for Public Works. Mr. Hoffman explained without clear direction from the Village about the path, they decided to leave enough room for a path to be built in the future if and when the Village desires it. Commissioner Creech wants to see a path. Ms. Jones noted the sidewalk would dead-end. Commissioner Creech mentioned that there were a lot of dead-end sidewalks in the Village.

Mr. Hoffman referred to the previous conversation about a storm water pond to serve their needs and the fish market. He explained they made several offers with the burden and cost of improvements solely on them but the neighbor was not interested.

Commissioner Kalis questioned if it was possible to make it a one car garage. Mr. Hoffman referred to the requirement of two car garages in the Village Code. Mr. Hoffman referred to the demographics in Wheeling that 41% of the homes in Wheeling and Cook County had one car.

Chairman Ruffatto reiterated that the Plan Commission needs to provide input and desires to make the Village better.

Commissioner Kalis agrees the proposal is too dense and the garages too small.

Chairman Ruffatto referred to the downspouts in the front. He questioned the implications of hard piping. He referred to the existing black pipes going down the downspouts on the new townhomes at Northgate and expressed concern. Mr. Tack did not think the black pipes at Northgate were permanent. He felt all of the downspouts would be directed into this green space and it should work fine. It would also help with the watering of the plants. Chairman Ruffatto expressed concern with overflowing onto the driveway and possibly freezing. He preferred they be buried in the front.

In reply to Chairman Ruffatto's question, Mr. Hoffman confirmed the two roads were private.

Chairman Ruffatto questioned if the roads complied with the standards. Mr. D'Alexander confirmed the proposed roadway width is 28' and the code is 30'. The cross section is identical to the Village. He stated the Fire Department didn't have any concern with the width of the road.

Mr. D'Alexander stated that the Metropolitan Water Reclamation District is promoting that the downspouts were discharging to grade. Chairman Ruffatto wants to see more analysis on it.

In reply to Chairman Ruffatto's question, Mr. Tack confirmed the letter provided regarding the remediation was sufficient and the Village would not be doing any testing.

Chairman Ruffatto questioned how to ensure the cleaning of the 5' buffer between the property and Millbrook Pointe gets done. Mr. Hoffman stated that they had every motivation to make sure that property was well maintained.

Chairman Ruffatto wants to see the southern corner unit 39 beefed up with landscaping. Mr. Hoffman stated that all of the proposed units on the southern property line were further north than the existing Deerfield Moving & Storage building. The Deerfield Moving & Storage building is a zero lot line setback on the Mayer right-of-way. Mr. Hoffman confirmed that there is a proposed tree by unit 39. Ms. Milluzzi questioned if the existing trees were shown on the plan. Mr. Hoffman stated they were planning to plant 10 new trees along the south property line. There are three trees that conflict with the plan that will be removed.

Chairman Ruffatto asked for a synopsis of the market study. Mr. Fields explained as a builder they look at the market and market specific to Wheeling. They look at four factors.

- Location - walk ability to different benefits. Marketing the ability and access to major interstates, major airports, and major employment hubs. They feel very good that this spot that makes sense for a residential attached townhome.
- Demographics – potential buyer profile. Population distribution – The highest population demographic within the area studied was a match of what they consider to be the targeted buyer (upper 20s – lower 50s). The overhaul household income range is from \$75,000 - \$125,000.
- What is new housing opportunity? What is the competition? Who will buy from them and not someone else? Most of the alternatives come with a smaller square footage at an equivalent or higher price point. They found value in being able to provide a higher living square footage at an equivalent price point of the competitor.
- Resale competition – What are buyers spending and buying and how does this new construction compare to it. To the north at Millbrook, there is smaller square footage but at a price point a little bit under the new construction.

Mr. Fields believes the market is telling them that the proposed type of product is needed within the area.

Chairman Ruffatto referred to the intersection capacity analysis in the parking study. Mr. Grieve reported that the level of service chart indicates delays and then the delays translate into a letter grade (A is the best and F is the worst). If he is designing a new street in the Chicago area, he is trying to design it at a C grade. If he is trying to do something acceptable it is at a D grade. He

explained that moving from a B grade to a C grade was only within less than a second. If they added the left turn lane it would probably be better.

Chairman Ruffatto questioned if the decks were an option. Mr. Hoffman explained they were showing the base elevation and that was what was being built. If they decide they need a deck outside the second floor, they will come back for approval. Chairman questioned what would happen if the Commission wanted to see decks on all the buildings. Mr. Hoffman stated that he would be open to it.

Chairman Ruffatto referred to the patio size and questioned if they could be made larger. Commissioner Dorband suggested extending it to under the windows of each unit. Commissioner Powers felt it would sacrifice the landscaping. Commissioner Dorband felt extending it just a couple of feet would help. She felt the proposed size was too small once you put in a barbeque, a couple of chairs and table. She thought 10' x 14' would be better. Mr. Fields mentioned that the decks would not be the same size. Chairman Ruffatto felt decks tended to be smaller.

Commissioner Powers agreed a couple feet would probably be OK. He expressed concern about the north side since the patio was abutting pretty close to the north property line. Mr. Fields proposed if they moved to add the rear deck on the second story, he would suggest looking at making the patio 10' x 10' but allowing the buyer to choose the option to upgrade to a deck as part of the approval request. Chairman Ruffatto was not in favor of offering it as an option but would take a poll. His feeling was based on aesthetics and use.

Commissioner Powers referred to the proposed air conditioning location and noted that it would be difficult to make the patios wider because of it.

Commissioner Johnson felt having a deck above the patio would present problems with putting grills on it. Mr. Antor explained the Code would allow a grill if sprinkler protection was provided over the patio and deck.

Chairman Ruffatto felt the existing look of having sliders with nothing needed to be evaluated.

Commissioner Creech noted a sprinkler would need to be there if a deck would be added in the future. Mr. Hoffman suggested having the ability to extend the sprinkler system out. Mr. Antor explained if they were to add the deck at a future point, they would need to open up the walls and reconfigure the sprinkler system. Depending on how it is laid out, it could be possible that there wasn't a branch line in the area. Ms. Jones explained they would only need a sprinkler if the grill was directly underneath the deck. Mr. Antor thought the Code did not allow grills on decks within 10' of compostable construction. One of the exceptions was unless sprinkler protection was provided in the area. Mr. Antor explained the decks could be made out of a noncombustible material like at Park Point condominiums.

Chairman Ruffatto referred to the buffering between the patios. He questioned if small fences had been considered in between the units. Mr. Hoffman explained the landscaping on the rendering wasn't depictive of the landscape plan. Mr. Dethloff noted the proposed plants used as the buffer were hydrangeas, spireas, perennials, lilies and grasses. He confirmed the landscaping at maturity

would be about 3-5'. It will be at 24" when installed.

Chairman Ruffatto felt the proposed 16' wide and 17'2" wide garages were way too small especially with having the storage of bicycles and other items. He expressed concern that the trash and recycling container would eventually end up outside in front of the garage. He mentioned the standard width of a garage in a house was 20' and it was still tight with having other items in the garage. He reiterated that the 16' width was too small and would end up as a one car garage. He didn't believe everyone would have smaller cars. There are 14 Royal units and 25 Auburn units. Ms. Jones stated the row homes at Millbrook had 19'wide by 19' deep garages.

Commissioner Johnson referred to the photometric plans. He questioned if the fixtures on the building were taken into consideration. He felt there were some dark areas. Mr. Hoogenboom confirmed the photometric plan included only the streetlights.

Commissioner Johnson questioned if a common sprinkler room was needed for each building. Mr. Antor explained that each individual had its own sprinkler system.

Commissioner Johnson questioned if the sidewalk was only on the outer ring with the visitor parking on the inner ring. Mr. Hoffman confirmed he was correct. Commissioner Johnson suggested adding a sidewalk from the parking area to the first couple of units.

Chairman Ruffatto wanted to get a consensus so the petitioner would have an idea of what the Commission wanted.

Chairman Ruffatto reviewed the list of items that needed a consensus.

- Larger patios?
- Irrigation system?
- Size of garage?
- Decks?
- Canopy on mailbox structure?
- Lighting fixtures?
- Burying the downspouts?
- Vacating Mayer and sidewalk?

Mr. Shapiro referred to the dedication of Mayer. He agreed for it to be a condition of the Village Board. He was unsure if it could be resolved tonight. Chairman Ruffatto was in agreement.

Chairman Ruffatto questioned if the Plan Commission wanted to see decks on the rear elevation.

Commissioner Johnson: yes

Commissioner Blinova: yes

Commissioner Powers: yes

Commissioner Dorband: yes

Commissioner Kalis: yes

Commissioner Creech: yes

Chairman Ruffatto: yes

The vote was 7:0 in favor of adding decks to the rear elevation.

Chairman Ruffatto questioned if the Plan Commission wanted to see drawings with a larger patio.

Commissioner Johnson: yes
Commissioner Blinova: yes
Commissioner Powers: yes (deeper elongated not to interfere with the landscaping)
Commissioner Dorband: yes
Commissioner Kalis: yes
Commissioner Creech: yes
Chairman Ruffatto: yes

The vote was 7:0 in favor of enlarging the patios.

Chairman Ruffatto questioned if the Plan Commission was in favor of requiring an irrigation system.

Commissioner Johnson: yes
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: yes
Commissioner Creech: yes
Chairman Ruffatto: yes

The vote was 7:0 in favor of requiring an irrigation system.

Chairman Ruffatto questioned if the size of the garages should be increased.

Commissioner Johnson: no
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: yes
Commissioner Creech: no
Chairman Ruffatto: yes

The vote was 5:2 in favor of increasing the size of the garage.

Chairman Ruffatto questioned if a canopy should be added over the mailboxes.

Commissioner Johnson: yes
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: yes

Commissioner Creech: yes
Chairman Ruffatto: yes

The vote was 7:0 in favor of adding a canopy over the mailboxes.

Chairman Ruffatto questioned if the Commission wanted to see an alternative lighting fixture.

Commissioner Johnson: no
Commissioner Blinova: yes
Commissioner Powers: yes – the photometric study should include the lighting on the building
Commissioner Dorband: yes
Commissioner Kalis: no
Commissioner Creech: no
Chairman Ruffatto: yes

The vote was 4:3 in favor of investigating alternative lighting fixtures.

Chairman Ruffatto questioned if the photometric plan should include the lighting on the buildings.

Commissioner Johnson: yes
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: yes
Commissioner Creech: yes
Chairman Ruffatto: yes

The vote was 7:0 in favor of including the lighting on the buildings in the photometric plan.

Chairman Ruffatto questioned if the downspouts should be buried in the front.

Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: yes
Commissioner Creech: yes

The vote was 4:0 in favor of burying the downspouts in the front.

Chairman Ruffatto questioned if there should be more than 3-5' of landscape buffering between the units.

Commissioner Johnson: no
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: no

Commissioner Creech: yes
Chairman Ruffatto: no

The vote was 4:3 in favor of more than 3-5' of landscape buffering between the units.

Chairman Ruffatto questioned if the development is still too dense.

Commissioner Johnson: no
Commissioner Blinova: yes
Commissioner Powers: yes
Commissioner Dorband: yes
Commissioner Kalis: no
Commissioner Creech: no
Chairman Ruffatto: yes

The vote was 4:3 in agreement that the development was still too dense.

Mr. Shapiro wanted to review the bigger picture items.

- They satisfied the Standards for Use.
- They satisfied all the criteria for PUD.
- It is consistent with the Comprehensive Plan.
- It is consistent with the Zoning.
- It is consistent with the area and the context of where it would be put.
- The PUD allows for flexibility.

Mr. Shapiro felt the packet was extraordinary thorough. They responded to everything that they heard at the May meeting. He stressed that it was a huge improvement from the existing Deerfield Storage. The current site has existed since 1974. It is an opportunity to make the site and area better and to set a trend for improvements in the area. He hopes the Commission doesn't lose the big picture and the opportunity that DR Horton can bring to them.

Mr. Shapiro explained that they will address some of the items but some they won't be able to because of limitations. He reiterated that it was a good thing for the community.

Mr. Shapiro reviewed the consensus items.

- Larger patios – they agreed to a 10' x 12' patio.
- Irrigation – they agreed to irrigate the main entrance and front only.
- Garage size – they cannot increase the size.
- Decks – they agreed to add decks.
- Canopy above the mailbox – they agreed to add a canopy over the mailbox.
- Alternative light fixtures – to be submitted at permit review.
- Vacating Mayer – they addressed during the meeting.
- Density – cannot do anything with the density.
- Burying of downspouts in the front – Mr. Fields suggested burying the downspouts only in the areas if it creates an unsafe situation. Chairman Ruffatto suggested putting it in writing

for review at the next meeting.

Mr. Shapiro doesn't want the Village to lose an opportunity for a huge improvement and project. Ms. Milluzzi explained there were a couple of options. Since they were also asking for final approval, they need to incorporate the changes into the plan that gets approved. She questioned if they would be OK with continuing both matters to another date. Mr. Shapiro preferred having those items done administratively in Staff review. They preferred to get a vote on preliminary and final tonight.

Ms. Milluzzi explained there shouldn't be significant changes between preliminary and final. Commissioner Dorband was in favor of voting to continue.

Chairman Ruffatto took a poll about voting on both preliminary and final tonight or continuing.

Commissioner Johnson – continue
Commissioner Blinova – continue
Commissioner Powers – continue
Commissioner Dorband – continue
Commissioner Kalis – continue
Commissioner Creech – continue
Chairman Ruffatto - continue

The vote was 7:0 in agreement to continue both dockets.

Chairman Ruffatto referred to the irrigation system. Mr. Shapiro agreed to irrigate the main entrances and in front of the buildings. Chairman Ruffatto asked if it was sufficient.

Commissioner Johnson – no, since it didn't cover green space by the two parking areas
Commissioner Blinova – no
Commissioner Powers – no
Commissioner Dorband – no, it should be the entire property

The vote was 4:0 in favor of irrigating the entire property.

Ms. Jones reviewed the proposed conditions.

1. Prior to the issuance of a site permit, a plat of vacation for Mayer Avenue shall be executed.
2. The brick shall not be veneer as labeled in the plans and shall be standard nomenclature brick.
3. Include downspouts on elevation plans.
4. Units shall have outside water spigots, one in the rear and one in the garage.
5. Units shall have bigger patios.
6. Units shall have decks off the second floor.
7. Irrigation is required for entire property.
8. The garages shall be larger.
9. The mailboxes shall have canopies.

10. Provide alternative light fixtures.
11. Include building lighting in photometric plan.
12. Bury downspouts in front yard.
13. Provide additional landscape screening between units.
14. The development is too dense.

Chairman Ruffatto thanked Mr. Shapiro for his comments but explained the Commission was tasked with making the Village better. The Commission feels the changes will enhance the Village even more. A date certain needs to be determined for the continuation. Ms. Jones asked the petitioner how long they would need to properly address all the issues.

Mr. Shapiro requested 5 minutes to meet with the team.

Mr. Shapiro explained they want to do as much as possible to satisfy the Commission but they don't want to waste the Commission's time. If they will come back and there will be no thoughtful reconsideration as to the Commission's position on the garages or density, then they urge the Commission to take a vote tonight. Mr. Shapiro reiterated that if the Commission required them to return, they could not reduce density or enlarge the garages.

Chairman Ruffatto asked about the next step. Ms. Milluzzi explained it was up the Commission. She didn't know how each Commissioner felt. She expressed concern about the changes if there was a vote tonight there were still outstanding changes. Ms. Jones suggested handling them at Final PUD. Ms. Milluzzi agreed. Commissioner Powers didn't feel comfortable going to final. Ms. Milluzzi explained if there was a vote tonight, she would only recommend voting on the preliminary PUD tonight so the Board would make a determination about the density and garage issues so the Plan Commission would have direction going into Final PUD approval. Ms. Milluzzi explained the changes with the decks, patio sizes, locations of the down spouts and etc., could all be added to a final PUD plan. She suggested that the PC not vote on both tonight. She recommended voting on the preliminary PUD only. Commissioner Powers didn't think the PC was in a position to vote on a preliminary with the outstanding issues. Ms. Milluzzi explained the changes were typical changes seen between preliminary and final. The conditions regarding the density or garage would not be included as a condition since the petitioner was not agreeing to those conditions.

Ms. Milluzzi expressed concern regarding the irrigation condition since the petitioner agreed to do only some irrigation and the current condition was for all and was not something they agreed to either. Ms. Jones explained that detail could be worked out at Final PUD if they get to that point. Mr. Shapiro confirmed the irrigation would not make or break the project.

Commissioner Johnson moved, seconded by Commissioner Creech to recommend approval of Docket No. 2017-6A, PRELIMINARY Review of Special Use-Site Plan-Building Appearance for Wolf Crossing, consisting of a 39-unit townhome development, as required under Chapter 19-05, Mixed-Use and Overlay Districts, Chapter 19-09 Planned Unit Developments, Chapter 19-10 Use Regulations, and Chapter 19-12 Site Plan Approval Requirements, as shown on the following plans/exhibits submitted on June 16, 2017 (except as noted), for the Wolf Crossing Planned Unit Development to be located on the property currently known as 411-415 N. Wolf Road, Wheeling, Illinois:

- Cover Letter (2 sheets)

- Project Narrative (9 sheets)
- Zoning Statistical Sheet
- Vicinity Exhibit
- Site Plan, July 13, 2017
- Rendering, Front
- Rendering, Rear
- Elevation Plans (14 sheets), June 22, 2017
- Floor Plans, Auburn (4 sheets)
- Detailed Lower Level Floor Plan, Auburn, July 13, 2017
- Photographs of Auburn Garage (2 sheets), July 19, 2017
- Floor Plans, Royal (4 sheets)
- Detailed Lower Level Floor Plan, Royal, July 13, 2017
- Civil Engineering Plans (16 sheets)
- Fire Hydrant Coverage Exhibit
- Fire Truck Turning Radius Exhibit
- Snow Removal Exhibit
- Photometrics Plan
- Light Fixture Exhibit
- Exterior and Interior Specifications Exhibit (4 sheets)
- Exterior Color Exhibit
- Landscape Plans (8 sheets)

Including the following relief from the Wheeling Municipal Code:

1. Reduce the minimum required building setback (front) for the townhomes from 30 feet to 9'11.5" (Section 19.04.060 F);
2. Reduce the minimum required building setback (north interior side) for the townhomes from 30 feet to 15'2" (Section 19.04.060 F);
3. Reduce the minimum required building setback (rear) for the townhomes from 30 feet to 16'7" (Section 19.04.060 F);
4. Reduce the minimum required distance between two 3-story buildings from 40 feet to 13'2" feet (Section 19.04.060 F); and
5. Increase the maximum townhome density from 14 units per net acre to 16.7 (Section 19.04.060 H).

And with the following conditions of approval, which shall be addressed at Final PUD:

1. Prior to the issuance of a site permit, a plat of vacation for Mayer Avenue shall be executed.
2. The brick shall not be veneer as labeled in the plans and shall be standard nomenclature brick.
3. Include downspouts on elevation plans.
4. Units shall have outside water spigots, one in rear and one in the garage.
5. Units shall have bigger patios.
6. Units shall have decks off the second floor.
7. Irrigation is required for entire property.

8. The mailboxes shall have canopies.
9. Provide alternate light fixtures.
10. Include building lighting in photometric plan.
11. Bury downspouts in front yard.
12. Provide additional landscape screening between units.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Commissioner Powers moved, seconded by Commissioner Johnson to close Docket No. 2017-6. The motion was approved by a voice vote.

Commissioner Johnson moved, seconded by Commissioner Creech to recommend approval of Docket No. PC 17-12; Preliminary Plat of Subdivision for the Wolf Crossing Subdivision under Title 17, Planning Subdivisions and Developments as shown on the Final Plat received June 16, 2017, prepared by Bradley A. Strohl, Illinois Professional Land Surveyor No. 184003350, on behalf of DRH Cambridge Homes, for 411-415 N. Wolf Road, located in Wheeling, Illinois.

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Commissioner Johnson moved, seconded by Commissioner Creech to approve Docket No. SCBA 17-29 to permit the installation of the subdivision sign in accordance with the following plans submitted June 16, 2017 for the Wolf Crossing development at 415 N. Wolf Road, Wheeling, Illinois:

- Sheet L1 of L7 (plant list),
- Sheet L4 of L7 (site plan), and
- Sheet L6 of L7 (elevation and section plans).

On the roll call, the vote was as follows:

AYES: Commissioners Blinova, Creech, Johnson, Kalis,
NAYS: Commissioners Dorband, Powers, Ruffatto
ABSENT: None
PRESENT: None
ABSTAIN: None

There being four affirmative votes, the motion was approved.

Respectfully submitted,

Jim Ruffatto, Chairman
Wheeling Plan Commission/
Sign Code Board of Appeals

**DISTRIBUTED TO THE COMMISSION 8.04.2017
FOR APPROVAL ON 8.10.2017**